



Assessment report to Sydney Central City Planning Panel

Panel reference: 2018SWC091

Development application

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| DA number | SPP-17-00016 | Date of lodgement | 27 June 2017 |
| Applicant | Dreamscapes Architects Pty Ltd | | |
| Owner | Kyun-Man Min and Yangsook Lee | | |
| Proposed development | Integrated development. Subdivision into 2 residential superlots, 1 residue lot and 1 lot for drainage, a temporary public road and public roads and the construction of 4 residential flat buildings on the superlots containing 200 apartments, basement car parking, associated works, demolition work and tree removal | | |
| Street address | 105 Cudgegong Road, Rouse Hill Lots 801 and 802 DP 1241791 (formerly Lot 80 DP 208203), | | |
| Notification period | 3 to 17 October 2017 | Number of submissions | None |

Assessment

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| Panel criteria Section 7, SEPP (State and Regional Development) 2011 | <ul style="list-style-type: none"> Capital investment value (CIV) over \$20 million (DA lodged prior to 1 March 2018. The DA has a CIV of \$ 60,062,004 (excluding GST)) |
| Relevant section 4.15(1)(a) matters | <ul style="list-style-type: none"> Environmental Planning and Assessment Act 1979 Sydney Regional Environmental Plan No. 20 - Hawkesbury-Nepean River State Environmental Planning Policy (State and Regional Development 2011) State Environmental Planning Policy (Infrastructure) 2007 State Environmental Planning Policy No. 55 - Remediation of Land State Environmental Planning Policy No. 65 - Design Quality of Residential Apartment Development State Environmental Planning Policy (Building Sustainability Index: BASIX) State Environmental Planning Policy (Sydney Region Growth Centres) 2006 (GC SEPP) Blacktown City Council Growth Centre Precincts Development Control Plan 2010 Central City District Plan 2018 Blacktown Local Strategic Planning Statement 2020 |
| Report prepared by | Ruth Bennett, Senior Development Planner |
| Report date | 26 November 2020 |
| Recommendation | Refuse, based on the grounds listed in the report. |

Attachments

- 1 Location map
- 2 Aerial image
- 3 Zoning extract

- 4 Detailed information about proposal and DA submission material
- 5 Development Application plans
- 6 Applicant's Clause 4.6 submission

Checklist

Summary of section 4.15 matters

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| Have all recommendations in relation to relevant section 4.15 matters been summarised in the Executive summary of the Assessment report? | Yes |
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Legislative clauses requiring consent authority satisfaction

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| Have relevant clauses in all applicable environmental planning instruments, where the consent authority must be satisfied about a particular matter, been listed and relevant recommendations summarised in the Executive Summary of the Assessment report? | Yes |
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Clause 4.6 Exceptions to development standards

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| If a written request for a contravention to a development standard (clause 4.6 of the LEP) has been received, has it been attached to the Assessment report? | Yes |
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Special Infrastructure Contributions

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| Does the DA require Special Infrastructure Contributions conditions (section 7.24)? | Yes |
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1 Executive summary

- 1.1 The key issues that need to be considered by the Panel in respect of this application are the road design issue and stormwater and water quality issues, as outlined below:
- 1.1.1 Development engineering/road design issues
- The subdivision design in this proposal poses development engineering issues in that it is incompatible with the current adjoining road network, as the proposed road levels are not consistent with adjacent current approvals.
 - The proposal is not consistent with the Growth Centres SEPP Indicative Layout Plan due to the staggered intersection. The proposed road pattern change does not provide a layout and levels consistent with the approved adjoining developments, and does not match in with current and future regional infrastructure. Thus it will not meet traffic access and circulation requirements.
- 1.1.2 Drainage/stormwater and water quality issues
- The current drainage design plans do not conform to Council's Water Sensitive Urban Design standards and, due to numerous errors on the plans, our Drainage Section cannot support the proposal and the proposed stormwater drainage plan.
 - The proposed retaining wall is in conflict with the approved development at 84 Tallawong Road which adjoins the rear boundary.
- 1.2 Assessment of the application against the relevant planning framework and consideration of matters by our technical departments have identified issues of concern that cannot be dealt with by conditions.
- 1.3 The application is considered to be unsatisfactory when evaluated against section 4.15 of the Environmental Planning and Assessment Act 1979.
- 1.4 This report recommends that the Panel refuse the application based on the grounds listed in the Recommendation at section 12 below.

2 Location

- 2.1 The site is located in the suburb of Rouse Hill. It is within the Cudgegong Road (Area 20) Precinct of the North West Growth Area as identified by State Environmental Planning Policy (Sydney Region Growth Centres) 2006 (Growth Centres SEPP). The location of the site is shown at attachment 1.
- 2.2 The site is located on the western side of Cudgegong Road, and is 800 m to the north-west of Tallawong Metro Station.
- 2.3 The site and surrounding properties are primarily zoned R3 Medium Density Residential.
- 2.4 The eastern portion of this site and surrounding properties between Rouse Road and 129 Cudgegong Road are zoned RE1 Public Recreation and together will form a future local park.
- 2.5 Cudgegong Reserve is located 145 m to the south and is zoned E2 Environmental Conservation.
- 2.6 The locality is in transition. It comprises a mix of rural-residential properties and properties under development. An aerial image of the site and surrounding area is at attachment 2.
- 2.7 The range of redevelopment occurring in this locality includes dwelling houses, multi dwelling housing, residential flat buildings and the future Tallawong Local Centre.

- 2.8 The site and adjoining properties which are zoned R3 Medium Density Residential have a maximum permitted building height of 12 m. The maximum permitted building height increases towards the future Local Centre to the south-east, from 16 m up to 26 m.

3 Site description

- 3.1 At time of lodgement of the proposal the site consisted of 1 lot, being Lot 80 DP 208203. It has since been subdivided into 2 lots, being Lot 801 and Lot 802, DP 1241791, and is still known as 105 Cudgegong Road, Rouse Hill.
- Lot 801 is the R3 Medium Density zoned lot, which is 13,900 m² and is proposed to contain the residential flat buildings and new roads.
 - Lot 802 is the RE1 Public Recreation zoned lot, which is 6,335 m² and through which a temporary road access to Lot 801 is proposed, as agreed to in principle by Council.
- 3.2 The original Lot 80 had an area of 20,235 m² and is rectangular in shape. It has a centrally located high point and slopes downwards to the north-east and south-west.
- 3.3 The site has a 72 m wide frontage to Cudgegong Road on its eastern boundary and has a depth of 280.86 m.
- 3.4 The site contains an existing 2-storey brick dwelling and associated structures, fencing and gravel driveway off Cudgegong Road.
- 3.5 There is an existing overhead electricity transmission line owned by Endeavor Energy and associated easement. It is generally parallel to Cudgegong Road and located between 40 m and 80 m from the eastern boundary of the site. The poles associated with the power lines are not located in this site. The existing power lines and easement are proposed to be retained.
- 3.6 There are 226 trees on the site which are identified as Shale Plains Woodland. There are grassed areas in that part of the site containing the electricity easement and in the central part of the site.
- 3.7 The site is not identified as flood prone.
- 3.8 The site is identified as bushfire prone land on the Rural Fire Service map and is identified as buffer 1/category 1.
- 3.9 The site has a moderate salinity potential.
- 3.10 Vehicular access to the site will be from Cudgegong Road, via the proposed temporary access road across Lot 802 which has frontage to Cudgegong Road to the frontage of Lot 801.
- 3.11 An aerial image of the site and surrounding area is at attachment 2.

4 Background

- 4.1 On 21 October 2011 the site was rezoned to R3 Medium Density Residential under the Growth Centres SEPP. The site was previously zoned 1(a) General Rural under Blacktown Local Environmental Plan 1988. The zoning and height of building maps for the site and surrounds are at attachment 3.
- 4.2 A history of the development proposal is as follows:
- 4.2.1 This application was lodged on 27 June 2017. This followed a Pre-DA meeting on 6 June 2017.
- 4.2.2 The original proposal was to be in 3 stages:
- Stage 1 included:

- subdivision into 3 Torrens title lots
 - construction of temporary road through proposed lot 3 to connect proposed lots 1 and 2 to Cudgegong Road until such time that the adjoining property development at 95 Cudgegong Road has constructed roads in line with the Indicative Layout Plan (ILP) to provide alternative access
 - construction of 4 public roads, including 2 which are half-width, to align with the ILP.
 - Stage 2 included construction of 2 x 4-storey residential flat buildings on proposed lot 1 containing 105 apartments with 3 basement levels of car parking.
 - Stage 3 included construction of 2 x 4-storey residential flat buildings on proposed lot 2 containing 96 apartments with 2 basement levels of car parking.
- 4.2.3 Requests for information were sent to the applicant on numerous occasions:
- In 2017, on 17 November and 21 November
 - In 2018, on 8 January, 27 March, 23 April and 27 December
 - In 2019, on 18 April, 6 May and 27 December
 - In 2020, on 5 August, 24 August and 4 September.
- 4.2.4 Council officers also held several meetings with the applicant on 21 November 2017, 15 March 2018 and 16 May 2018.
- 4.2.5 Subsequent to lodgement, the applicant submitted:
- amended architectural drawings and amended civil drawing on 9 April 2018
 - a plan for the temporary road dated 25 November 2017
 - additional information for NSW RFS on 29 May 2018
 - amended civil plans on 31 July 2018
 - response to traffic queries on 7 August and 31 August 2018
 - a revised Statement of Environmental Effects, Clause 4.6 variation request and amended architectural plans, acoustic report and landscape plans on 12 February 2019
 - amended plans and waste information on 15 May 2019
 - traffic information on 30 May 2019
 - amended engineering plans on 2 April 2020
 - MUSIC model on 20 May 2020
 - amended civil plans on 10 September 2020.
- 4.2.6 In 2020 the applicant submitted amended engineering plans to address concerns relating to road levels and drainage. These plans did not correlate with the levels and civil infrastructure design of the surrounding proposed Development Applications. A MUSIC model and amended drainage plans were also submitted which do not align with the approved development at 84 Tallawong Road that adjoins at the rear.

- 4.2.7 We note that the owner of 84 Tallawong Road has provided its consent for the imposition of an easement to drain water over 84 Tallawong Road, and also for the construction of minor temporary battering into 84 Tallawong Road to facilitate the half road construction along the common boundary.
- 4.2.8 Despite our recent requests, the applicant has not satisfactorily amended the proposal in respect to matters raised by our Drainage and Engineering sections.
- 4.2.9 We requested that amended drainage plans and amended civil drawings be provided by 27 October 2020 and the applicant was unable to meet this deadline.
- 4.2.10 Information for a number of key issues, including drainage and road design engineering matters, have not been forthcoming to enable these aspects of the proposal to be properly assessed. All other issues can be addressed by way of conditions.
- 4.3 The original proposal was placed on public exhibition and no submissions were received.
- 4.4 The design of the proposal as amended was supported by Council's City Architect's Office and by the Development Assessment team.
- 4.5 This assessment report is based on the latest amended architectural plans dated 15 February 2019, and the latest drainage and civil engineering plans dated 9 September 2020.

5 The proposal

- 5.1 The Development Application has been lodged by Dreamscapes Architects Pty Ltd on behalf of the owners Kyung-Man Min and Yangsook Lee.
- 5.2 The applicant's original proposal was for:
 - 5.2.1 Torrens title subdivision into 3 lots, being:
 - proposed superlot 1 of 4,798 m² (being the re-subdivision of Lot 801)
 - proposed superlot 2 of 4,502 m² (also being a re-subdivision of Lot 801)
 - proposed residue lot 3 of 6,337 m² (zoned RE1 Public Recreation) for future Council acquisition (as already outlined above since lodging this DA the applicant has already created the future Public Recreation lot in a separate plan of subdivision as a residue lot, being Lot 802. This lot will have to still be burdened to benefit the abovementioned 2 new superlots to provide temporary access if a DA is approved)
 - construction of 4 public roads.

Note: The DA proposal under consideration now was not amended by the applicant to reflect the registered Deposited Plan 124791 which creates Lot 801 (13,900 m² - zoned R3 Medium Density Residential) and Lot 802 (6,335 m² - zoned RE1 Public Recreation).
 - 5.2.2 demolition of existing brick dwelling and outbuildings
 - 5.2.3 tree removal, stormwater drainage works, landscaping and street tree planting
 - 5.2.4 construction of 3 x 4-storey and 1 x 5-storey residential flat buildings containing a total of 200 apartments and 2 levels of basement car parking
 - 5.2.5 construction of a temporary access road (incorporating temporary on-site stormwater detention) through part of the site, being proposed lot 3 (residue lot for future public reserve to be acquired by Council in the future) which is zoned RE1 Public Recreation. The temporary access road was intended to provide dedicated

public road access to Cudgegong Road for this development and will also benefit the adjoining land at 95 Cudgegong Road if it is developed in the future.

- 5.3 With regard to the proposed 4 residential flat buildings, the building heights proposed will range from 12 m to 16.2 m as measured from the existing ground level, with numerical breaches of between 1.64 m and 4.2 m across the 2 lots in relation to the maximum building height standard of 12 m. More detail on the height of building breaches is as follows:
 - 5.3.1 On the first building on proposed lot 1 the proposed height breach relates only to the lift overrun.
 - 5.3.2 The second building on proposed lot 1 is only partially non-compliant, consisting of part of the uppermost floor being 1.64 m over the height plane, but which has been recessed to minimise the breach in the height limit and will be utilised as communal open space. Thus the variation sought is limited to the roof slab and lift overruns, with some minor breaches to the uppermost portions of units.
 - 5.3.3 The maximum proposed height of buildings on proposed lot 1 is 13.64 m. The buildings on proposed lot 1 will have 1,188 m² of habitable area which exceeds the height control, being 13.7% of the gross floor area of the development.
 - 5.3.4 The buildings on proposed lot 2 have a maximum proposed height of 16.2 m which is a numerical breach of 4.2 m to the maximum building height standard. This relates to elements including some roof slab, however the communal open space structures and lift overrun to access the communal open space on Building 2 on proposed lot 2 also exceed the maximum height of building standard of 12 m.
 - 5.3.5 On proposed lot 2 a total of only 174 m² of the gross floor area of the buildings exceeds the 12 m height control, being 2% of the proposed gross floor area. No habitable floor space is located above the height limit on either building on proposed lot 2.
 - 5.3.6 In summary, the majority of the proposed development is within the maximum building height for this site, which is 12 m under the Growth Centres SEPP.
 - 5.3.7 A revised Clause 4.6 variation request has been provided at attachment 6 to this report.
- 5.4 There have been a number of amendments to the roads, driveways and residential flat buildings. In the amended application in February 2019, Stage 3 was amended to provide 95 apartments and 115 car parking spaces. Stage 1 subdivision has not been formally amended to reflect the registration of the earlier subdivision with the location of the temporary road as agreed with Council's Recreation Planning and Design and Open Space Infrastructure sections. Stage 2 remains unchanged under the amended application.
- 5.5 The amended application submitted on 12 February 2019 is for 4 residential flat buildings, containing 200 units, being 105 units within proposed lot 1 (28 x 1-bedroom, 73 x 2-bedroom, 4 x 3-bedroom), and 95 units within proposed lot 2 (21 x 1-bedroom, 69 x 2-bedroom, 5 x 3-bedroom).
- 5.6 The application is classified as 'integrated development' under section 4.4.6 of the Environmental Planning and Assessment Act 1979, as a bushfire safety authority from the NSW Rural Fire Service is required.
- 5.7 Other details about the proposal are at attachment 4. A copy of the amended architectural and landscape plans is at attachment 5.

6 Assessment against planning controls

6.1 A summary assessment of the Development Application against the section 4.15(1)(a) heads of consideration under the Environmental Planning and Assessment Act 1979 is provided below, but only for those planning controls that directly relate to our proposed refusal.

6.2 Section 4.15 'Heads of Consideration'

| Heads of Consideration | Comment |
|--|---|
| a. The provisions of: (i) Any environmental planning instrument (EPI) | <p>The proposal does not satisfy the requirements of:</p> <ul style="list-style-type: none"> Sydney Regional Environmental Plan No. 20 - Hawkesbury-Nepean River, as it has not adequately addressed on-site stormwater drainage requirements and the current drainage plans do not conform with Council's Water Sensitive Urban Design standards. State Environmental Planning Policy (Building Sustainability Index: BASIX), as an amended BASIX Certificate has not been provided. |
| (ii) Any proposed instrument that is or has been the subject of public consultation under this Act | <p>In May 2017, prior to the lodgement of this DA in June 2017, the former Department of Planning and Environment (DPE) exhibited a draft amendment to the Growth Centres SEPP 2006, referred to as the 'North West Draft Exhibition Package.' This exhibition coincided with the release of the Land Use and Infrastructure Implementation Plan (the purpose of which is to guide new infrastructure investment, make sure new developments do not impact on the operation of the new Western Sydney Airport, identify locations for new homes and jobs close to transport, and coordinate services in the area).</p> <p>A key outcome sought by the Department is the establishment of minimum and maximum densities for all residential areas that have been zoned under the SEPP (i.e. density bands). Currently the planning controls nominate only a minimum density. This would have a significant influence on the ultimate development capacity (i.e. yield) of the precincts.</p> <p>Following exhibition in mid-2017 and the receipt of many objections, the Department is still considering this matter and no final decision has been made. The timing of adoption is uncertain at this stage, as is the content of any amendments. There is no guarantee the exhibited controls will be adopted and made law.</p> <p>This site is within the Area 20 Precinct and the density band demonstrated in the Exhibition Package is 25 to 35 dwellings per hectare, which equates to a maximum of 49 dwellings on this site. The proposal is for 200 apartments, being an additional 151 apartments above that anticipated in the Exhibition Package. Although the proposal is inconsistent with the maximum dwelling density as exhibited, there is no certainty or imminence to these amendments coming into effect, and therefore this is not a matter for consideration in this application.</p> |
| (iii) Any development control plan (DCP) | <p>Blacktown City Council Growth Centre Precincts Development Control Plan 2010 - the proposal is not consistent with the Indicative Layout Plan as it does not align with the adjoining approved development at 84 Tallawong Road due to the staggered intersection, which is not supported.</p> |

| Heads of Consideration | Comment |
|---|--|
| | <p>The temporary road, including temporary on-site stormwater detention, is to bisect the RE1-zoned land (future park), however it does not have any lighting provision, which impacts the safety of vehicles and pedestrians.</p> <p>The requirements of our Recreation Planning and Design and Civil and Open Space Infrastructure sections, and Natural Areas Team in the relation to the RE1-zoned lot, have not been fully addressed as no landscape plan or fauna relocation plan has been provided.</p> <p>The proposed development is compliant with the numerical controls established under the Blacktown Growth Centres Precinct DCP, with the exception of minor variations to setbacks for some balconies on levels 1 and 2.</p> <p>Blacktown Development Control Plan 2015, Part J Stormwater - the proposal does not comply with Council's Water Sensitive Urban Design standards and fails to demonstrate that it is compatible with future regional infrastructure.</p> <p>In the present circumstances, this proposal and the adjoining development proposal under SPP-17-00041 both have a temporary access road with temporary on-site stormwater detention located on the RE1-zoned land. It is uncertain how drainage can operate effectively in either case as an alternative has not been provided in this proposal for the temporary drainage located under the temporary access road if the temporary access road is not built on this land.</p> |
| (iii a) Any Planning Agreement | N/A |
| (iv) The regulations | <p>The DA is contrary to Clause 50 and Clause 55A of the Environmental Planning and Assessment Regulation 2000 as the applicant is required to provide all the necessary and requested information to Council to allow for a proper assessment of the application, including the submission of requested information by Drainage and Engineering, and including all matters that reflect the current proposal. Amended drainage and engineering plans have not been provided and an amended BASIX Certificate has not been provided.</p> |
| b. The likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts on the locality | <p>It is considered that the development will result in negative impacts on both the natural and built surrounding environment due to serious engineering issues that have not been adequately addressed by the applicant re discharge points, overland flows, road design due to unsupported staggered intersection and stormwater design, such that the development is not compatible with the surrounding approved development or adjoining proposed development.</p> <p>Negative impacts also result because engineering requirements have not been adequately addressed in terms of road design and stormwater design with regard to the temporary road. The proposal does not align with the approved development at 84 Tallawong Road.</p> <p>Due to these issues, it is Council's view that the proposed development in its current form will have unfavourable impacts on the natural and built environment.</p> |

| Heads of Consideration | Comment |
|---|---|
| c. The suitability of the site for the development | <p>The subject site is zoned R3 Medium Density Residential with a 12 m building height limit under the Growth Centres SEPP. Residential flat buildings are permissible on the site with development consent.</p> <p>The minimum dwelling density requirement is 25 dwellings per hectare. The applicant proposes 145 dwellings per hectare.</p> <p>The proposal generally complies with the Indicative Layout Plan, however the staggered intersection is not supported and the retaining wall is in conflict with the approved development at 84 Tallawong Road.</p> <p>The eastern part of the site is zoned RE1 Public Recreation and is intended to accommodate a temporary access road to provide access from Cudgegong Road to proposed lots 1 and 2 of the development. The same arrangement is proposed for the adjoining southern site at 95 Cudgegong Road under SPP-17-00041. It is intended for the temporary access road to be removed once the surrounding road network is in place, to protect the quality and availability of the future local park in this location.</p> <p>However, there is inadequate engineering information submitted to enable a complete assessment of the impact of this proposal on the existing drainage system and approved surrounding road network.</p> <p>The proposal fails to adhere to the relevant development controls with regard to stormwater, water quality and access.</p> <p>The applicant has not satisfied Council that the site can adequately cater for this development. Based on these unresolved issues, the current proposal is a poor and unsatisfactory development outcome for the site.</p> |
| d. Any submissions made in accordance with this Act, or the regulations | <p>The original proposal and architectural plans were placed on public exhibition between 3 October and 17 October 2017. No submissions were received.</p> |
| e. The public interest | <p>The proposal is not in the public interest as it is not proposing orderly development. It does not address Council's requirements for adequate on-site stormwater detention and water quality measures, does not accord with Council's Engineering Guide for Development, fails to meet road design requirements and is not compatible with the adjoining road network.</p> |

7 Key issues and reasons for refusal

7.1 Development engineering issues

- 7.1.1 The proposal represents disorderly development which is incompatible with the approval provided to the adjoining development at the rear of the site, 84 Tallawong Road, and does not provide for safe traffic circulation due to the staggered intersection. Thus the proposal is incompatible with the adjoining road network at this stage. In addition, further amendments to the engineering plans are required. Specifically:
- The levels of the proposed discharge point (headwall) to the west, which drains onto the downstream properties at 84 Tallawong Road and 100 Tallawong Road, fail to illustrate a free-flowing design, as the proposed invert level of the headwall is approximately 0.7 m lower than that of the existing

surface level. It should reflect a free-flowing design. The current invert level of the headwall is 57.054 and the existing surface level is 57.792.

- The discharge point on 84 Tallawong Road is shown to be contained wholly within this property. The outlet is to be free flowing and an 'easement in gross' to drain water is to be created and registered prior to the Subdivision Works Certificate being issued. The extent of the easement is to cover the tailout works up to a legal point of discharge.
- The location of the proposed drainage discharge line and the invert level of the related pit 1A101-02 drains towards the downstream property to the west and does not match the approved design of 84 Tallawong Road under SPP-17-00031 and MOD-20-00053. The invert level of the proposed pit is approximately 1.6 m lower than the approved invert level. This fails to demonstrate compatibility with the approved design of 84 Tallawong Road and cannot drain.
- The road design levels, specifically the long-section profile of proposed Road 1 and Road 2, are not compatible with the alignment and levels of Road 3 at 84 Tallawong Road, approved under SPP-17-00031 and MOD-20-00053. This discrepancy creates a non-compliant staggered 4-way intersection.
- The proposal shows a trapped low point at the intersection of Road 1 and Road 2, adjacent to the retaining wall on the boundary of the site. The stormwater cannot be drained and the applicant has failed to illustrate the conveyance of the overland flow at this point.
- The Road 3 drainage system is draining against the grade. This is not acceptable. The proposal fails to demonstrate how the site is draining towards the original catchment and how it is being treated as per Council's Water Sensitive Urban Design controls. The levels of the drainage system require amendment to drain towards the 95 Cudgegong Road project, otherwise an inter-allotment drainage line should be created south of proposed lot 2 to connect to the proposed inter-allotment line on the RE1-zoned land, and should align with Council's Drainage section requirements.
- There is no temporary turning head proposed at the dead-end side of Road 2. This shows no consideration for safe manoeuvrability for vehicular and pedestrian traffic at this point. This will affect the proposed residential flat buildings.
- The interallotment drainage pipe system on RE1 land requires an easement and concurrence of Council's Recreation Planning and Design section, in addition to proposed on-site detention on the temporary access road.

7.2 Drainage engineering issues

7.2.1 The current drainage design plans do not conform to Council's Water Sensitive Urban Design standards and, due to non-conformance with Council's design standards and errors on the plans, Council's Drainage Section cannot support the proposal. Specifically, only 1 temporary access road is permitted across the RE1 land for either the developments at 95 Cudgegong or 105 Cudgegong Road, depending on which development occurs first. The alternate staging plan with details of the connection to Road 4 on 95 Cudgegong Road for the scenario with the temporary access road completed on 95 Cudgegong Road first has not been provided.

7.2.2 The proposed development fails to consider its relationship to the adjoining lands and neighbouring developments:

- The design levels of the road and location of drainage pits west of proposed lot 1 are not based on the details on the approved drainage plans for the adjacent development at 84 Tallawong Road. Currently the drainage from this development is approximately 1 m lower than the downstream drainage line and cannot drain.
- The long section profile for Road 2 does not match with the approved design levels of the road levels of the adjacent development at 84 Tallawong Road.
- The invert level of the pipeline on Cudgegong Road at the location along the boundary with 95 Cudgegong Road is not matching with the design invert level of the pipe on the drainage plans for the development of 95 Cudgegong Road.
- The discharge pipeline located east of proposed lot 2 shown along the south-eastern boundary of the RE1 land is not accepted by Council's Open Space Infrastructure section due to the adverse impact on the significant trees in this location.
- No post-development catchment plans are provided to allow for the new roads on adjoining lots. In particular, only part of the lot to the north of the site has been allowed to drain onto this proposed development when the whole lot area should be allowed for. In addition, no calculations are provided for the catchment flows from 95 Cudgegong Road discharging onto this site.

7.2.3 The on-site stormwater detention (OSD) requirements have not been satisfactorily addressed:

- An amended detention strategy is required for the stage 1 variation where the temporary road over the RE1 land is constructed on 95 Cudgegong Road and not on 105 Cudgegong Road.
- An OSD catchment plan was provided, however it shows areas outside the site which do not form part of the OSD catchments. There is also no legend describing the colours nominated and whether these areas bypass or drain to the OSD, nor are actual areas detailed numerically. Consequently, there is no way to assess whether the values nominated in the OSD spreadsheets are correct and, where changes are required to the OSD tanks, whether these tank size changes can be accommodated.
- The OSD 1 tank which is located in the basement is too low to discharge to the downstream property at 84 Tallawong Road. The base of the tank will need to be raised by approximately 1 m, which will result in significant enlargement to the tank footprint to contain the volume with a larger footprint, and it is unclear what impact this will have.
- The likely revised discharge arrangement for the OSD tank from proposed lot 2 along the alignment of temporary road 5 will likely cause the base level of the tank to rise leading to a shallower tank with larger footprint. It is unclear what impact this will have.

7.2.4 Water quality treatment measures assessed using MUSIC are not adequate to achieve Council's required pollutant removal targets:

- There are areas of bypass that have not been allowed for.
- Unrealistically high water usage rates have been proposed that, when lowered, cause the targets to fail.
- Stormsacks are not acceptable to Council as a deemed-to-comply solution for water quality in the street pits due to their low design flow.

- Stormsacks are proposed for the internal pits, but this is not supported by Ocean Protect, the manufacturer of Stormfilters.

7.2.5 The drainage details provided are insufficient:

- Drainage line 1A 101 is substantially lower than its downstream connection.
- With any revised drainage layout, it is unclear whether the Stormfilter chamber false floor is above the minimum required 1EY level in the next downstream pit and consequently may not operate effectively.
- The drainage line 1A 104-01 is orientated incorrectly and does not account for all the upstream catchment. The downstream system may be undersized as a result.
- Within proposed lot 1, a system is required to internally drain flows from pit 1A103-02 to the OSD 1 tank.
- The road pits near the downstream boundary do not extend to the boundary to provide continuity with the drainage on the adjoining development.

7.2.6 The catchment plans and drainage design are inconsistent with adjoining developments.

7.2.7 The temporary works have not been designed to minimise redundant work and future adjustment works.

8 Issues raised by the public

8.1 The proposed development was notified to property owners and occupiers in the locality between 3 October and 17 October 2017. The Development Application was also advertised in the local newspapers and a sign was erected on the site.

8.2 We received no submissions.

9 External referrals

9.1 The Development Application was referred to the following external authorities for comment:

| Authority | Comments |
|---------------------------------|--|
| NSW Police LAC | Acceptable subject to conditions |
| NSW Roads and Maritime Services | Acceptable |
| NSW Rural Fire Service | Acceptable subject to supplied General Terms of Approval |

10 Internal referrals

10.1 The Development Application was referred to the following internal sections of Council for comment:

| Section | Comments |
|----------------|--|
| City Architect | Acceptable from a building design perspective. Our City Architect identified some concerns during his initial evaluation. In response, the applicant submitted amended plans that reduced the height of the buildings, increased the setback to |

| Section | Comments |
|-------------------------------------|---|
| | <p>the basements to provide an increased deep soil area within the lot boundaries to support the growth of mature trees, improved noise attenuation measures for bedrooms in the vicinity of driveways with planter boxes, and roofs and pergolas to reduce visual impact and noise impact to 3 ground floor units facing the driveways.</p> <p>Amendments also involved improvements to the design of waste collection, provision of direct street access to ground floor apartments, egress stairs modified to be within the building envelope with screening landscaping around the egress stair, roofs and pergolas provided to reduce the length of 'canyoning', as driveways down to the basements resulted in a lengthy 'open cut' gully and so a raised planter/platform was requested to be introduced above the driveway for part of its extent.</p> <p>Internal corner units were revised to allow more indentation to avoid visual privacy issues, and to ensure all habitable areas and private open space complied with the 12 m separation control.</p> <p>Windowless studies that could be converted to a bedroom were not supported as they had inadequate light and ventilation as required by the Apartment Design Guide. The studies' wall and door were required to be removed so the study was no longer enclosed.</p> <p>Our City Architect's Office is now satisfied that the proposal offers an improved and acceptable style of development.</p> <p>We note an offset diagram is required to demonstrate the building's height and that there are insufficient dimensions shown on the plans re balconies and internal areas of units, so that a complete assessment of compliance with the Apartment Design Guide cannot be finalised.</p> |
| Access and Transport Management | <p>With regard to the provision of 1 temporary access road in the land zoned RE1, this arrangement is supported by Access and Transport Management.</p> <p>However, there is no support for the non-compliant staggered 4-way intersection, and the plans require amendment to reflect the correct intersection design at Roads 1 and 2, and proposed roads on 84 Tallawong Road, i.e. the alignment of the intersecting road towards the west is inconsistent with that shown on the subject development plans.</p> |
| Building | Acceptable, subject to conditions of consent |
| Waste | Acceptable, subject to conditions of consent |
| S7.11 | Acceptable, subject to conditions. |
| Recreation Planning and Design | The provision of 1 temporary access road in the land zoned RE1 is supported subject to conditions |
| Natural Areas | Acceptable, subject to conditions of consent |
| Civil and Open Space Infrastructure | Acceptable, subject to conditions of consent |
| Development Engineering | Unacceptable and cannot be supported |
| Environmental Health Unit | Acceptable, subject to conditions of consent |

| Section | Comments |
|----------------------|---|
| Property | Acceptable |
| Drainage Engineering | Unacceptable and cannot be supported |

11 Conclusion

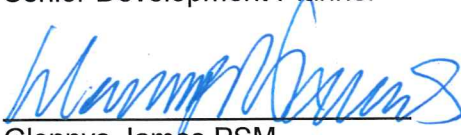
- 11.1 The proposed development has been assessed against all relevant matters and is not considered to be satisfactory. The applicant has had ample time to satisfy our engineering design and drainage requirements over the past 3 and a half years. It is considered that the likely impacts of the development have not been satisfactorily addressed and that the proposal is not in the public interest.

12 Recommendation

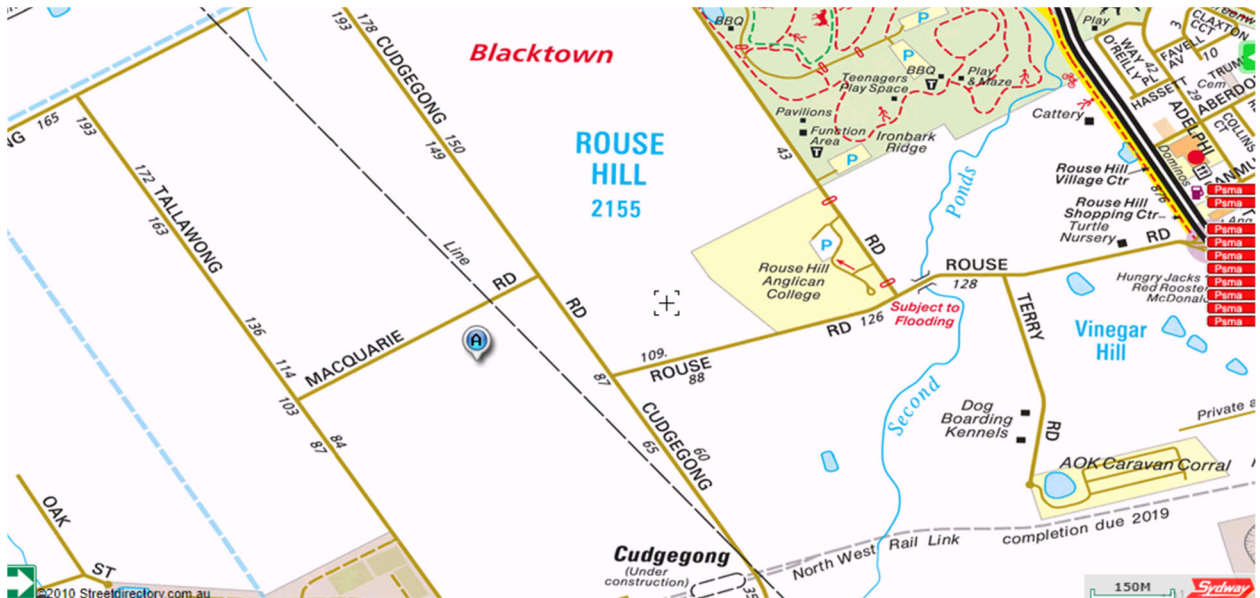
- 1 Refuse DA SPP-17-00016 for the following reasons:
 - a Under the provisions of section 4.15(1)(a)(iii) of the Environmental Planning and Assessment Act 1979 (EP&A Act 1979) it is considered that the proposed development is substantially inconsistent with the controls in Blacktown Development Control Plan 2015, Part J Water Sensitive Urban Design (WSUD) and Integrated Water Cycle Management, Council's WSUD standard drawings and Council's Engineering Guide for Development.
 - b Under the provisions of section 4.15(1)(c) of the EP&A Act 1979 the site is not suitable for the development as designed, as the road and drainage constraints affecting the subject land have not been resolved.
 - c Under section 4.15(1)(b) of the EP&A Act 1979 the proposal in its current form will have impacts on adjoining development and upstream drainage catchments, due to its numerous non-compliances with the standard drainage and road design requirements of Council.
 - d Inadequate information has been provided to complete an assessment of the DA in terms of engineering and drainage design matters. The proposal cannot be thoroughly assessed to be considered consistent with the provisions of section 4.15 (1)(b) and (c) of the EP&A Act 1979.
 - e Under the provisions of section 4.15(1)(e) of the EP&A Act 1979 it is considered that, in the circumstances of the case, approval of the development would create an unacceptable risk for the public due to risk of downstream inundation as a result of poorly managed stormwater runoff and roads that do not match adjoining approved development at their boundaries and is therefore not in the public interest.
- 2 Council officers notify the applicant of the Panel's decision.


 Ruth Bennett
 Senior Development Planner


 Judith Portelli
 Manager Development Assessment


 Glennys James PSM
 Director Planning and Development

Location map

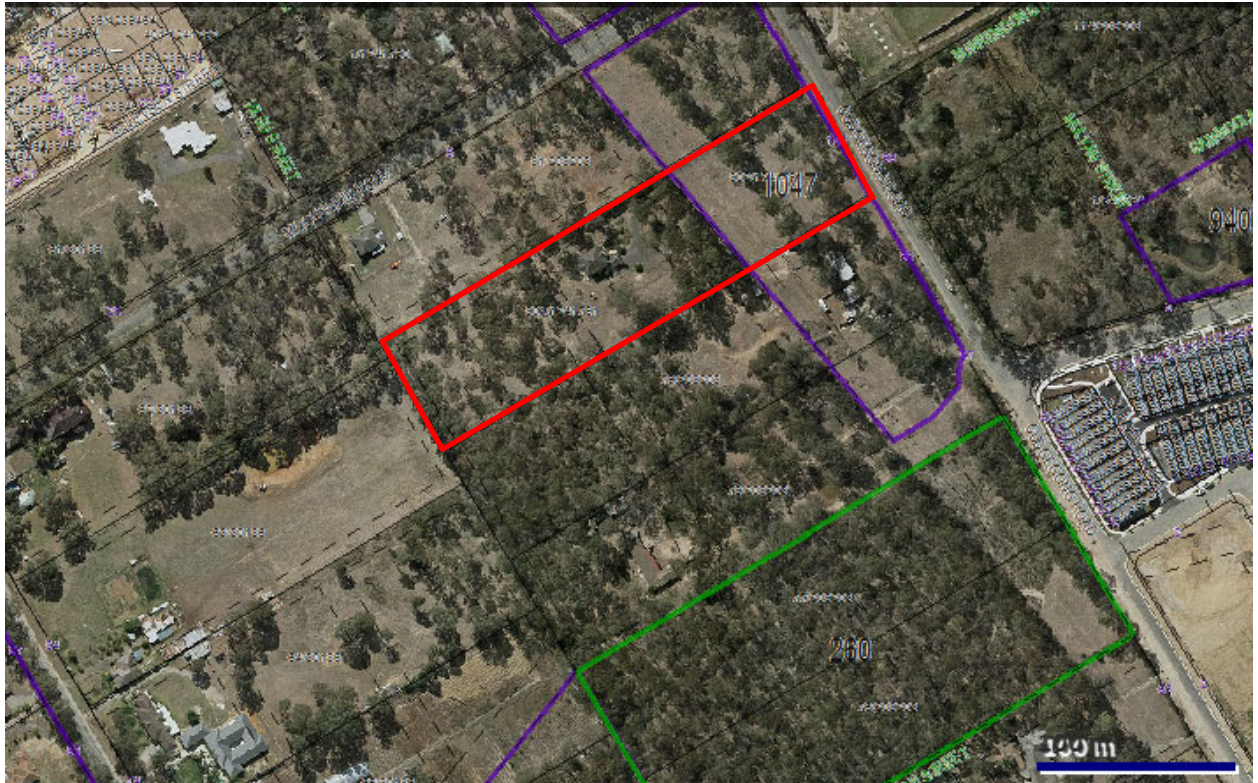


Site marked with an 'A'

Source: street-directory.com.au



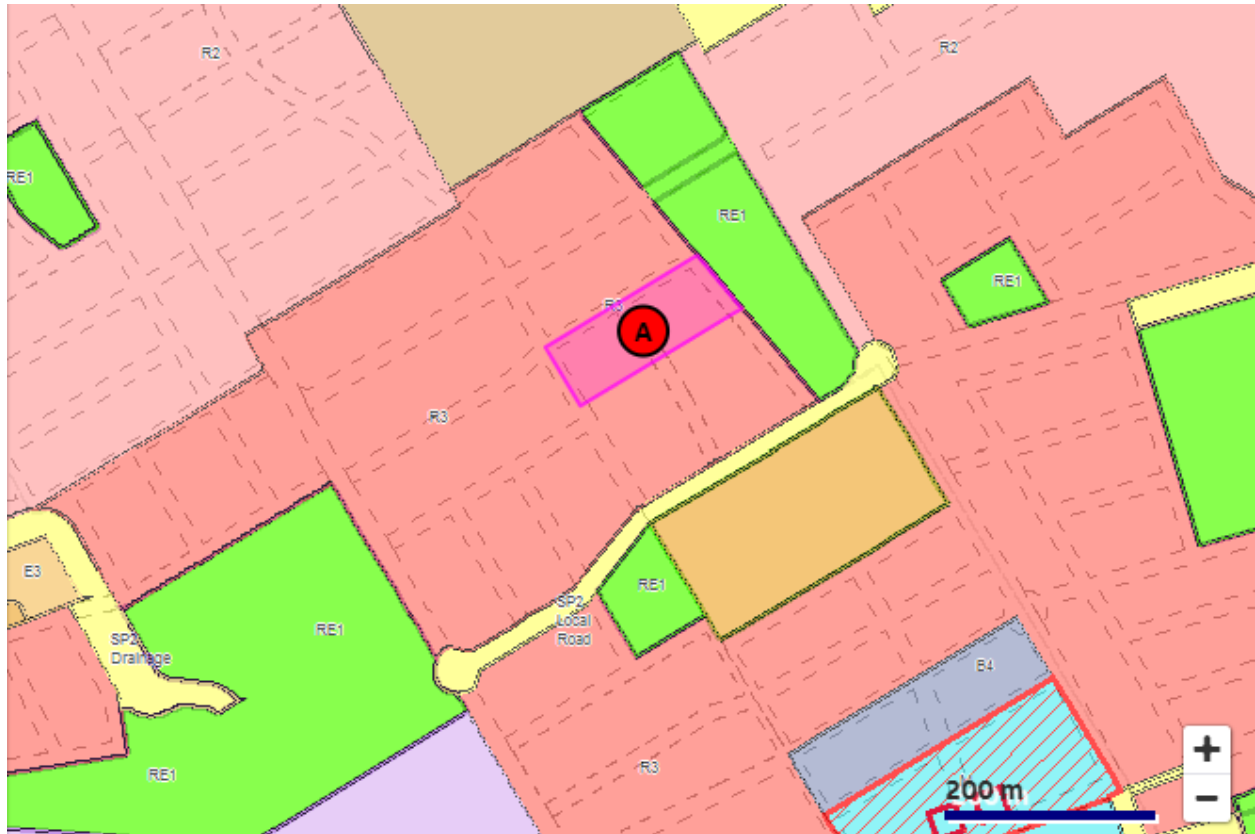
Aerial image



Site outlined in red

Source: BCC Gisweb 2018

Zoning extract



LEGEND

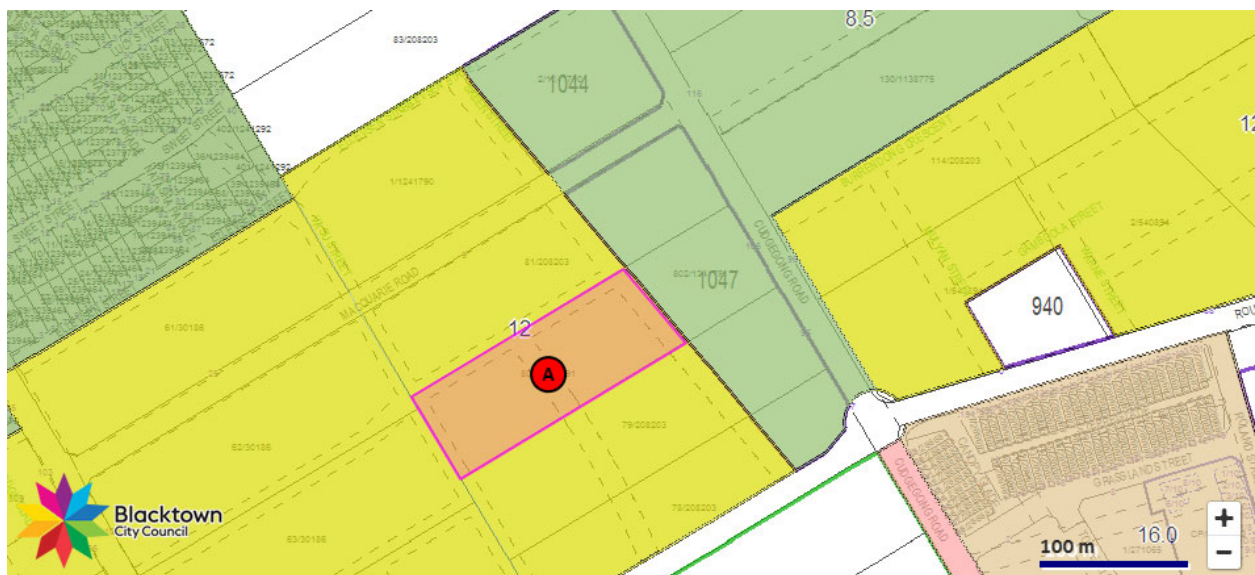
Zone

| | |
|---|---|
| B1 Neighbourhood Centre | IN2 Light Industrial |
| B2 Local Centre | R1 General Residential |
| B4 Mixed Use | R2 Low Density Residential |
| B5 Business Development | R3 Medium Density Residential |
| B6 Enterprise Corridor | R4 High Density Residential |
| B7 Business Park | RE1 Public Recreation |
| E2 Environmental Conservation | RE2 Private Recreation |
| E3 Environmental Management | RU6 Transition |
| E4 Environmental Living | SP2 Infrastructure |
| IN1 General Industrial | |

Site marked as 'A'

Source: BCC Gisweb

Height of buildings



Site marked as 'A'

Source: BCC Gisweb

Detailed information about proposal and DA submission material

1 Overview

- 1.1 The Development Application for 105 Cudgegong Road, Rouse Hill, as amended in February 2019 and recently again due to the registration of the paper subdivision, now seeks approval for:
- subdivision of 1 lot (Lot 801 DP 1241791) into 2 superlots, being proposed lot 1 - 4,798 m² and proposed lot 2 - 4,502 m², and 4 public roads
 - demolition of existing brick dwelling and outbuildings
 - removal of 156 trees on proposed lots 1 and 2
 - public road construction of 4 roads (2 full width at 18 m and 2 half width at 9 m)
 - construction of 3 x 4 storey and 1 x 5 storey residential flat buildings, comprising 200 apartments above 2 basement levels for car parking, bike parking, storage and waste service areas. Note: Building A1 will be 5 storeys and Buildings A2, B1 and B2 will be 4 storeys
 - construction of a temporary access road incorporating temporary on-site stormwater detention through part of the site zoned RE1 Public Recreation now known as Lot 802 DP 1241791, to provide legal public access to Cudgegong Road via a Reciprocal Right of Way benefiting Lot 801 and burdening Lot 802.
 - Lot 802 has an Endeavour Energy transmission easement of 30.48 m width travelling through the site.
- 1.2 The proposal is for 3 stages:
- Stage 1 - subdivision into 2 Torrens title lots of Lot 802 and construction of temporary road through Lot 801 to connect proposed lots 1 and 2 to Cudgegong Road until such time that the adjoining property development at 95 Cudgegong Road has constructed roads in line with the ILP to provide alternative access. Also the 4 public roads on the subject land will be built.
 - Stage 2 - construction of 1 x 4 storey and 1 x 5 storey residential flat buildings on proposed lot 1 with 2 basement levels of car parking, an on-site detention tank in the basement, landscaping and street tree planting.
 - Stage 3 - construction of 2 x 4 storey residential flat buildings on proposed lot 2 with 2 basement levels of car parking, landscaping and street tree planting.

2 Consultant reports

- 2.1 As the Development Application was amended, this in turn resulted in amended architectural and landscape plans accompanied by a revised Statement of Environmental Effects and consultant reports relating to traffic and parking assessment, Phase 1 and Phase 2 contamination site investigation reports, salinity and geotechnical assessment, noise impact assessment, BCA compliance report, arborist report, infrastructure servicing, aboriginal due diligence assessment, CPTED report, bushfire assessment report and Waste Management Plan.

- 2.2 Amendments were also received in relation to the following reports: traffic, arboriculture, waste management. Additional amendments have been submitted for engineering and architectural plans, including a MUSIC model.
- 2.3 A revised Clause 4.6 justification has been submitted (refer attachment 6) as the proposed lift overruns, exit stairs and a section of the rooftop (on 1 building) are higher than the maximum allowable height of 12 m. On lot 1 there is a breach for the first building (A1) relating to the lift overrun; there is a breach for the second building (A2) consisting of part of the uppermost floor which has been recessed to minimise the breach and is utilised as communal open space. Lot 2 has breaches on both buildings (B1 and B2) which relate to the lift overruns, part of the roof slab, and communal open space area provided on the rooftop of one building.
- 2.4 A BASIX Certificate for the original proposal states that it meets the NSW Government requirements for sustainability. An amended BASIX Certificate is required.
- 2.5 The State Environmental Planning Policy No. 65 - Design Quality of Residential Apartment Development Verification Statement was prepared by Lawrence Zheng of Dreamscapes Architects Pty Ltd, Registered Architect, Registration Number 10061.

3 Height and scale of buildings

- 3.1 The development proposes heights of 13.64 m to 16.2 m on the 4 buildings on proposed lots 1 and 2. The maximum height of buildings development standard is 12 m. Part of the roof slab and lift overruns on proposed lot 1 exceed this by up to 1.64 m. The rooftop lifts and small areas of roof structures for the communal open space on 1 building on proposed lot 2 exceed the height limit by up to 4.2 m to enable the provision of, and access to, rooftop common open space areas and amenities, with a minor encroachment in relation to the second building on proposed lot 1 relating to the parapet. A revised Clause 4.6 variation submission has been made by the applicant that addresses the requirements of subclauses 4.6(3) and (4).
- 3.2 A small portion of the roof on the second building on proposed lot 1 has a small additional increase in height due to site topography. This design provides for all apartments on the ground level to be at street level.
- 3.3 All 4 buildings are similar in footprint, layout and design, and are placed in a row across the site with open space areas in between, with 2 buildings on each lot. This width between buildings reflects the minimum required building separation distances under the Apartment Design Guide and provides for a separation of 12 m.

4 Subdivision proposal and road design

- 4.1 As the plans at attachment 5 indicate, the site is rectangular in shape, running longways from the Cudgegong Road frontage (72 m) of the site towards the west. The 2 proposed lots divide the residentially zoned R3 site, with proposed lot 2 in the middle and proposed lot 1 in the west of the site.
- 4.2 Proposed lots 1 and 2 will be Torrens title lots and proposed lot 3 is a residue lot for future public open space. The existing overhead electricity transmission line within Lot 801 on the public recreation zoned lot is owned by Endeavour Energy and the associated easement is located between 40 m and 80 m from the eastern boundary of the site. The power lines and easement are proposed to be retained.
- 4.3 The new public local roads are proposed on the rear boundary, the northern boundary, between proposed lots 1 and 2 and between proposed lot 2 and Lot 801. The driveway basement access for each lot is located off the proposed local road on the northern site boundary.

- 4.4 The proposed new local public road widths to be constructed and dedicated to Council are 2 half roads of 9 m width consisting 5.5 m pavement and 3.5 m nature strip/pedestrian pathway, and 2 full width 18 m wide roads. These roads will be completed in Stage 1.
- 4.5 The proposed new road locations are consistent with the Indicative Layout Plan in the Cudgegong Road (Area 20) Precinct, Growth Centres DCP.

5 Residential design

- 5.1 The residential component of the proposal as amended in February 2019 consists of 3 rectangular-shaped, 4 storey and 1 x 5 storey residential flat buildings (RFBs), aligned north/south and placed parallel across the site from east to west, with landscaping on the site perimeters and between each building:
- 2 RFBs will be built on proposed lot 1, with 105 apartments in Buildings A1 and A2 and 128 car parking spaces (provided in 2 basement levels that serve both buildings) and 38 bike parking spaces
 - 2 RFBs will be built on proposed lot 2, with 95 apartments in both Buildings B1 and B2 and 117 car parking spaces (provided in 2 basement levels that serve both buildings) and 34 bike parking spaces.
- 5.2 The internal layout of the 4 buildings are similar, being stepped across the site to reflect the topography. Common open space is also provided on the rooftop of 1 building.
- 5.3 The unit mix is:
- Buildings A1 and A2 - 28 x 1-bedroom, 73 x 2-bedroom, 4 x 3-bedroom
 - Buildings B1 and B2 - 21 x 1-bedroom, 69 x 2-bedroom, 5 x 3-bedroom.
- 5.4 Due to the site topography generally falling from north-east to south-west, the ground level of the southern end of each building is stepped across the site.
- 5.5 Pedestrian access is provided directly from the street into each building lobby. Ground level units have direct access to courtyard areas.
- 5.6 Adequate residents' disabled parking spaces are provided in the basements.

6 Acoustic report

- 6.1 The amended application was accompanied by an acoustic report dated 11 February 2019 which addressed the impact of traffic noise, plant and equipment on residential amenity and provided recommendations.

7 Traffic and parking matters

- 7.1 The application was supported by a report which provided an Assessment of Traffic and Parking Implications, dated June 2017, prepared by Transport and Traffic Planning Associates, and a further addendum dated 30 May 2019. These provide for signage to address 'no entry', 'no through road', 'no left turn'.
- 7.2 Transport and Traffic Planning Associates' report concluded that the increase in the number of vehicle movements on Cudgegong Road, a local collector road, will be accommodated within the current street network with no adverse impacts on amenity. The total traffic generation outcome will only be some 52% to 65% of that assessed in the RMS studies undertaken for the planning of the Area 20 precinct. Thus, the traffic generated by the development can be accommodated within the existing and developing road network.
- 7.3 A total of 245 parking spaces are provided, for residents and visitors, being 40 visitor spaces and 205 residential spaces. In each of the basements serving the 2 proposed lots, the total spaces required is in excess of the minimum parking requirement that

applies to residential flat building developments within 800 m of a railway station (in this case being the Tallawong Metro Station). These requirements are enabled through the RMS rates that have legal force from SEPP 65 and the ADG. The RMS rate provides a concession for developments close to railway stations so as to discourage car usage and encourage the use of public transport. The ADG/RMS requires that the development provides a total of 207 parking spaces, being 110 for proposed lot 1 and 97 for proposed lot 2. This is made up of 166 residential parking spaces and 41 visitor parking spaces. The 245 parking spaces provided represents an exceedance of 38 parking spaces over the ADG/RMS requirement. This exceedance is not supported, and if the application were to be approved, the excess car parking would need to be removed as a condition of any consent. The number of bicycle spaces provided is 72, whereas 67 are required but this exceedance is supported.

- 7.4 In May 2019 a turning path assessment was provided to demonstrate the manoeuvrability arrangements for the ingress and egress of service vehicles. An intercom is proposed on the right side of each driveway. A carpark management plan is proposed as part of induction for residents/tenants.
- 7.5 Transport and Traffic Planning Associates' report also concluded that the car parking areas and driveways for each building are compliant with Australian Standard 2890.1:2004.
- 7.6 Existing public transport services include bus services along Windsor Road, 'line haul' bus services on the Northwest Transitway, and bus services along Norwest Boulevard.
- 7.7 Public transport servicing the area includes the Sydney Metro Northwest rail line, with Tallawong Station now open and further extensions to the network being considered, and a revision and upgrade of bus services which service the North West Growth Area.
- 7.8 In the basements, plans also include storage areas, waste storage and loading bays. Lift access is provided from the basements to all building levels.
- 7.9 Access is via 2 x 11.7 m wide combined ingress/egress driveways with turning heads (amended in May 2019), to connect the 2 basements to the new access roadway. The proposed driveways are located a sufficient distance from intersections in accordance with AS2890.1 and 2 design criteria. Adequate sight distances are provided for both vehicles and pedestrians.

8 Building elements

- 8.1 The proposed front facades consist of a range of building materials and features with some articulation and modulation. Two tones of grey, white and terracotta are proposed with glazed balustrades.
- 8.2 Building materials proposed will be face brick in dark grey, timber-look privacy screens, terracotta panels, glass balustrades, decorative screens in accent colour, dark grey render and pearl white render.

9 Tree removal and retention and fauna

- 9.1 An arborist report and tree survey were submitted with the application.
- 9.2 There are 226 trees on the site which are identified as Shale Plains Woodland. A grassed area is located in the part of the site containing the electrical easement and in the central part of the site.
- 9.3 It is proposed for the majority of the trees within Lot 801 (the future public reserve) will be protected.

10 Landscaping and deep soil

- 10.1 Deep soil areas are located on the street front perimeters as well as between each lot (between each basement carpark), providing areas for large tree planting through the site.
- 10.2 The provision of deep soil areas on proposed lot 1 for Buildings A1 and A2 will be 17% with a measurement of at least 6 m width. On proposed lot 2 for Buildings B1 and B2 deep soil areas of 11% will be provided with a measurement of at least 6 m width, and 22% with a measurement of at least 3 m width.
- 10.3 Landscaped communal open space areas will be provided on the ground level between buildings, on levels 3 and 4 on proposed lot 1 (Buildings A1 and A2), and on the rooftop of one building on proposed lot 2 (Building B2). These areas will be readily accessible to residents, with the use of stairs, ramps and lifts. The ground level communal open spaces will be similar in size and dimensions with a central pathway.
- 10.4 Facilities to be provided include lightweight pergolas for shade, outdoor daybed/lounge with umbrella, concrete tub planters, outdoor dining settings, decking, paved areas, bench seating and turfed areas. BBQ facilities will also be provided.
- 10.5 Perimeter and internal site planting will be provided to separate the public domain from the proposed row of 4 x 4-storey/5-storey building facades, and street trees will be provided on the verge areas.
- 10.6 Six species of trees are proposed, including Scribbly gum, Dwarf flowering gum 'Summer Red', Weeping Lily Pilly, Eumundi Quandong, Blueberry Ash and Flowering Dogwood. Eight species of shrubs and hedges are proposed, and 9 species of grasses and groundcovers will provide suitable embellishment for both perimeter and internal site planting.
- 10.7 A street tree planting plan has been provided. This includes native and exotic species, including *Buckinghamia celissima*, *Pyrus calleryana* 'Chanticleer' and *Tristaniaopsis laurina* 'Luscious'.

11 Waste

- 11.1 The proposal will allow for on-site waste collection at the basement level, with vehicular access into the site from the 4 new local roads created.
- 11.2 The waste collection service will use a 8 m long medium rigid vehicle. The building's headroom allowance will be 4.5 m and will provide access for a medium rigid vehicle.
- 11.3 Waste services storage and loading bays will be located in the basement of each building.

12 Storage

- 12.1 The storage requirements under SEPP No. 65 will be provided within each unit and in the 2 basement levels, which has a requirement of 6 m³ for 1 bedroom units, 8 m³ for 2 bedroom units and 10 m³ for 3 bedroom units.

Notes DA:

1. DESIGN RESOLUTION

1.1 The drawings represent general architectural intent for the purpose of this development application only.

1.2 The information shown is indicative and is subject to further design development.

1.3 The dimensions shown are general only and are subject to further design development.

1.4 Location of car park entry point is general only and will be confirmed and developed at later stage.

1.5 The size and position of house sun screens is indicative and shown in open and closed positions.

1.6 Ceiling RL (where shown) indicates general ceiling design level only, which does not account for services, bulkheads or similar partial ceiling protrusions.

1.7 Landscape component is shown indicatively only and subject to further design development at later stage.

1.8 Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, airside, etc.

2. GRAPHIC PRESENTATION

2.1 Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour distortion may also occur in the printing process.

3. EXISTING STRUCTURES AND SERVICES

3.1 Location and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.

3.2 All underground services are as per the existing survey information.

| Date | Rev | Description |
|------------|-----|-------------------------------------|
| 15/01/2019 | 1 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
| 25/09/2017 | 1 | ISSUE FOR DA |

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



Planning . Architecture . Interior . Landscapes

The Silver Arc Dreamscapes Pty Ltd

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ACN 169 027 936

Australia, Singapore, Hong Kong, China

TITLE

COVER PAGE

DA SUBMISSION



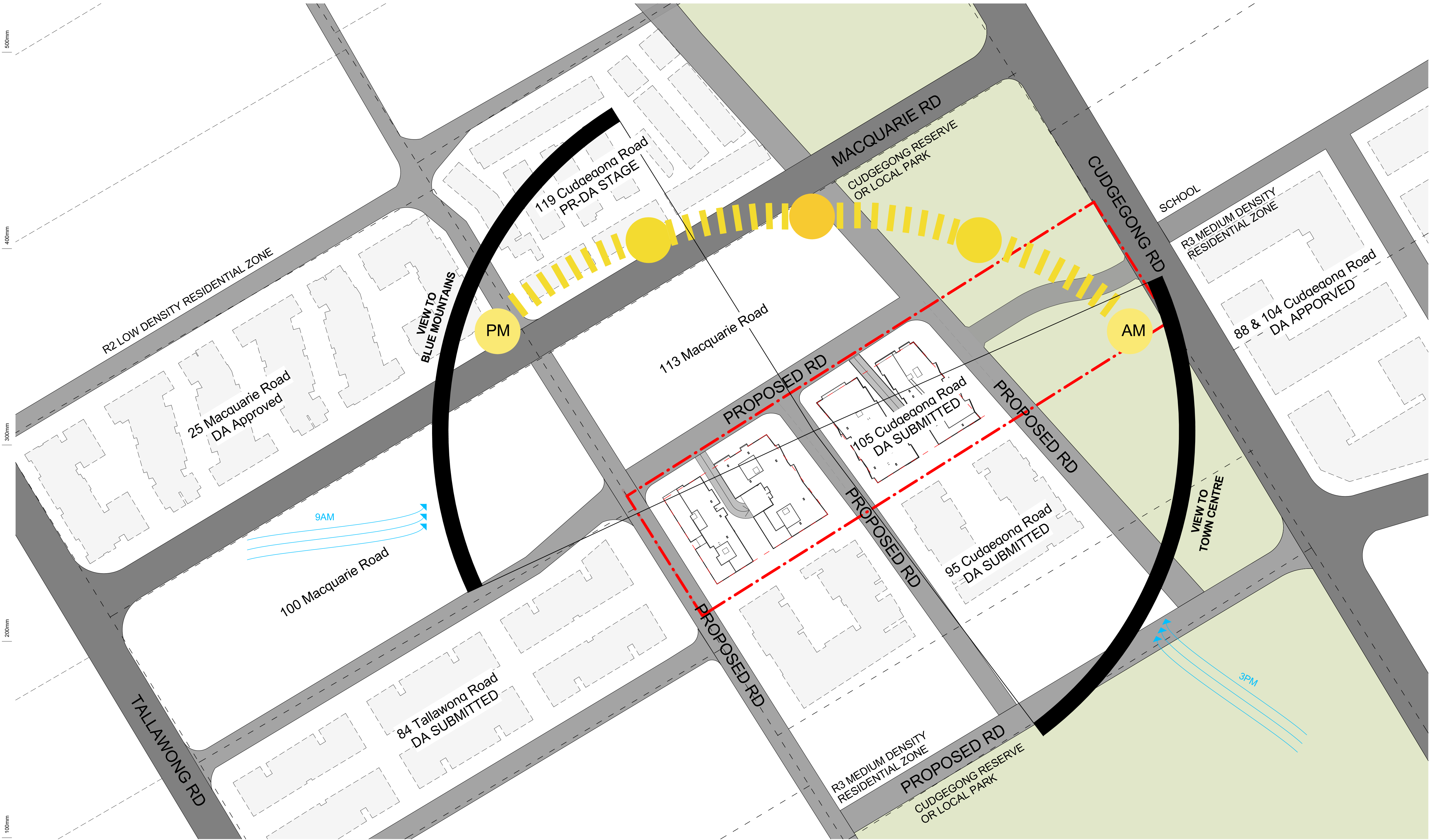
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| STAGE: DA SUBMISSION | |
| DATE: 15/01/2019 | |
| DRAWING SCALE: | SHEET SIZE: A1 |
| PROJECT NO: 17003 | DRAWING NO: A100 |
| | REVISION: 2 |

1/02/2019 3:24:21 PM

RESIDENTIAL FLAT BUILDINGS DEVELOPMENT AT 105 CUDGEGONG ROAD ROUSE HILL



| Sheet List | | |
|--------------|---|------------------|
| Sheet Number | Sheet Name | Current Revision |
| A100 | COVER PAGE | 2 |
| A101 | SITE ANALYSIS PLAN | 3 |
| A102 | SUBDIVISION LAYOUT | 3 |
| A103 | SITE PLAN | 3 |
| A104 | INDICATIVE STAGE PLAN | 3 |
| A105 | DEMOLITION & DEEP SOIL PLAN | 3 |
| A106 | COMMUNAL OPEN SPACE | 3 |
| A107 | HOB DIAGRAM | 1 |
| A201 | LOT 1 - BASEMENT & LOWER GROUND | 4 |
| A202 | LOT 1 - GROUND | 4 |
| A203 | LOT 1 - LEVEL 1 | 4 |
| A204 | LOT 1 - LEVEL 2 | 4 |
| A205 | LOT 1 - LEVEL 3 | 4 |
| A206 | LOT 1 - LEVEL 4 | 4 |
| A207 | LOT 1 - ROOF PLAN | 3 |
| A208 | LOT 2 - BASEMENT 1 & 2 | 4 |
| A209 | LOT 2 - GROUND FLOOR | 4 |
| A210 | LOT 2 - LEVEL 1 | 4 |
| A211 | LOT 2 - LEVEL 2 | 4 |
| A212 | LOT 2 - LEVEL 3 | 4 |
| A213 | LOT 2 - ROOF PLAN | 4 |
| A220 | ADAPTABLE UNIT VARIATION PLAN - LOT 1 & 2 | 1 |
| A221 | ADAPTABLE UNIT VARIATION PLAN - LOT 2 | 1 |
| A310 | LOT 1 - SECTION | 1 |
| A311 | LOT 2 & LONGITUDINAL - SECTION | 2 |
| A312 | FLOOR HEIGHT CLEARANCE - SECTION | 1 |
| A320 | LOT 2 - ELEVATION | 2 |
| A321 | LOT 2 - ELEVATION | 2 |
| A400 | OVERALL SHADOW DIAGRAM 1 | 1 |
| A401 | OVERALL SHADOW DIAGRAM 2 | 1 |
| A500 | MATERIALS & FINISHES | 1 |
| A600 | SOLAR & VENTILATION DIAGRAM LOT 1 | 1 |
| A601 | SOLAR & VENTILATION DIAGRAM LOT 1 | 1 |
| A602 | SOLAR & VENTILATION DIAGRAM LOT 1 | 1 |
| A603 | SOLAR & VENTILATION DIAGRAM LOT 2 | 2 |
| A604 | SOLAR & VENTILATION DIAGRAM LOT 2 | 2 |
| A701 | ADG COMPLIANCE DIAGRAM LOT 1 | 2 |
| A702 | ADG COMPLIANCE DIAGRAM LOT 1 | 2 |
| A703 | ADG COMPLIANCE DIAGRAM LOT 1 | 2 |
| A704 | ADG COMPLIANCE DIAGRAM LOT 1 & 2 | 2 |
| A705 | ADG COMPLIANCE DIAGRAM LOT 2 | 2 |
| A706 | ADG COMPLIANCE DIAGRAM LOT 2 | 2 |
| A707 | ADG COMPLIANCE DIAGRAM LOT 2 | 2 |



Notes DA:

1. **DESIGN RESOLUTION**

1.1. The drawings represent general architectural intent for the purpose of this development application only.

1.2. The internal layout is shown indicatively and is subject to further design development.

1.3. The dimensions shown are general only and are subject to further design resolution.

1.4. Location of car park entry point is general only and will be confirmed and dimensioned at later stage.

1.5. The size and position of louvre sun screens is indicative and shown in open and closed positions.

1.6. Ceiling RL (where shown) indicates general ceiling design level only, which does account for services bulkheads or similar partial ceiling protrusions.

1.7. Landscape component is shown indicatively only and subject to further design development at later stage.

1.8. Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.

2. **GRAPHIC PRESENTATION**

2.1. Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour distortion may also occur in the printing process.

3. **EXISTING STRUCTURES AND SERVICES**

3.1. Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.

3.2. All unchanged site levels are as per the existing survey information.

| | | |
|------------|-----|-----------------------------------|
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



Planning . Architecture . Interior . Landscapes
The Silver Arc Dreamscapes Pty Ltd

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ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

SITE ANALYSIS PLAN

DA SUBMISSION

Scale 1: 100

0 2 4 6

1

STAGE: DA SUBMISSION

DATE: 07/03/2018

DRAWING SCALE: As indicated

SHEET SIZE: A1

PROJECT NO: 17003

DRAWING NO: A101

REVISION: 3

1/02/2019 3:24:42 PM

1 SITE ANALYSIS
1 : 1000

SUBJECT SITE

PROPOSED DEVELOPMENT

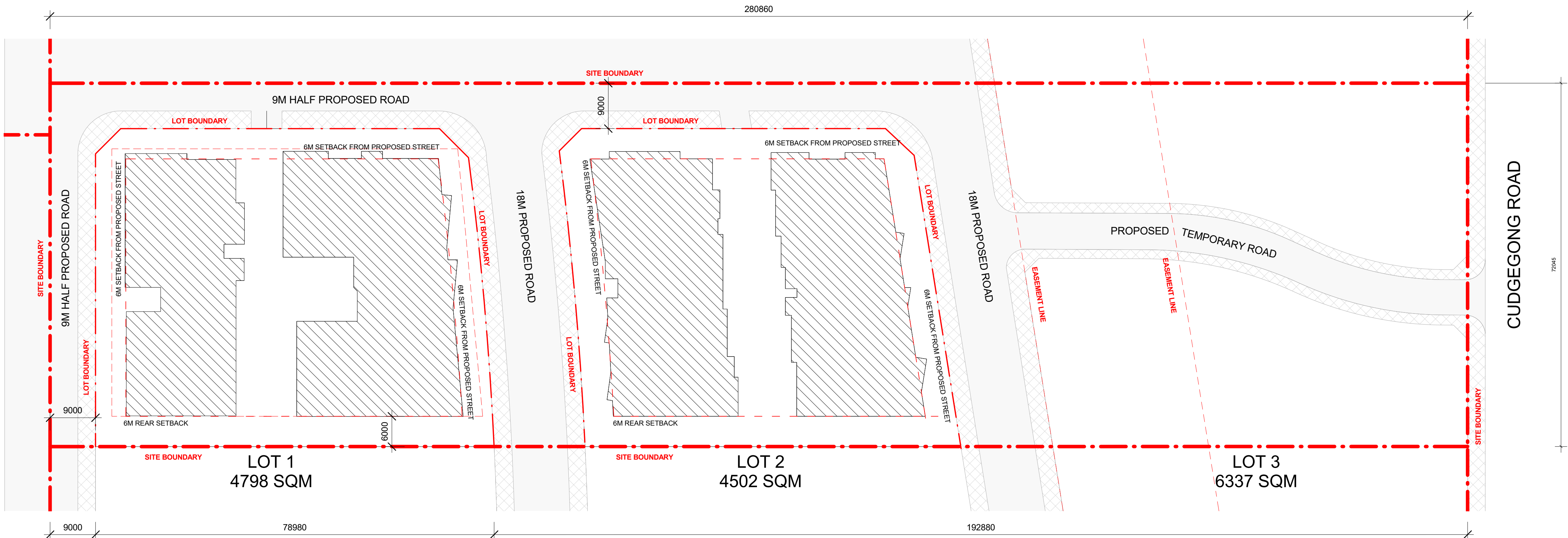
EXISTING BUILDING

FUTURE DEVELOPMENT

CURRENT BOUNDARIES

WINTER SUNPATH

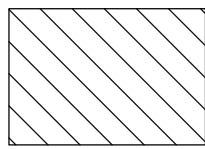
ANNUAL PREVAILING WIND



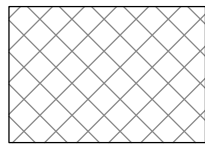
1 SUBDIVISION LAYOUT

1 : 500

LEGEND



PROPOSED BUILDING



ROAD VERGE



ROAD CARRIAGE-WAY

--- SITE BOUNDARY

--- LOT BOUNDARY

--- DCP BUILDING SETBACKS

Notes DA:

1. DESIGN RESOLUTION
- 1.1. The drawings represent general architectural intent for the purpose of this development application only.
- 1.2. The internal layout is shown indicatively and is subject to further design development.
- 1.3. The dimensions shown are general only and are subject to further design resolution.
- 1.4. Location of car park entry point is general only and will be confirmed and dimensioned at later stage.
- 1.5. The size and position of louvre sun screens is indicative and shown in open and closed positions.
- 1.6. Ceiling RL (where shown) indicates general ceiling design level only, which does account for services bulkheads or similar partial ceiling protrusions.
- 1.7. Landscape component is shown indicatively only and subject to further design development at later stage.
- 1.8. Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.
2. GRAPHIC PRESENTATION
- 2.1. Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour deviation may also occur in the printing process.
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- 3.2. All unchanged site levels are as per the existing survey information.

| | | |
|------------|-----|-----------------------------------|
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/03/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL DEVELOPMENT

105 CUDGEGONG ROAD, ROUSE HILL

ARCHITECT



Planning . Architecture . Interior . Landscapes
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ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

SUBDIVISION LAYOUT

DA SUBMISSION

Scale 1 : 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 07/03/2018

DRAWING SCALE: As indicated

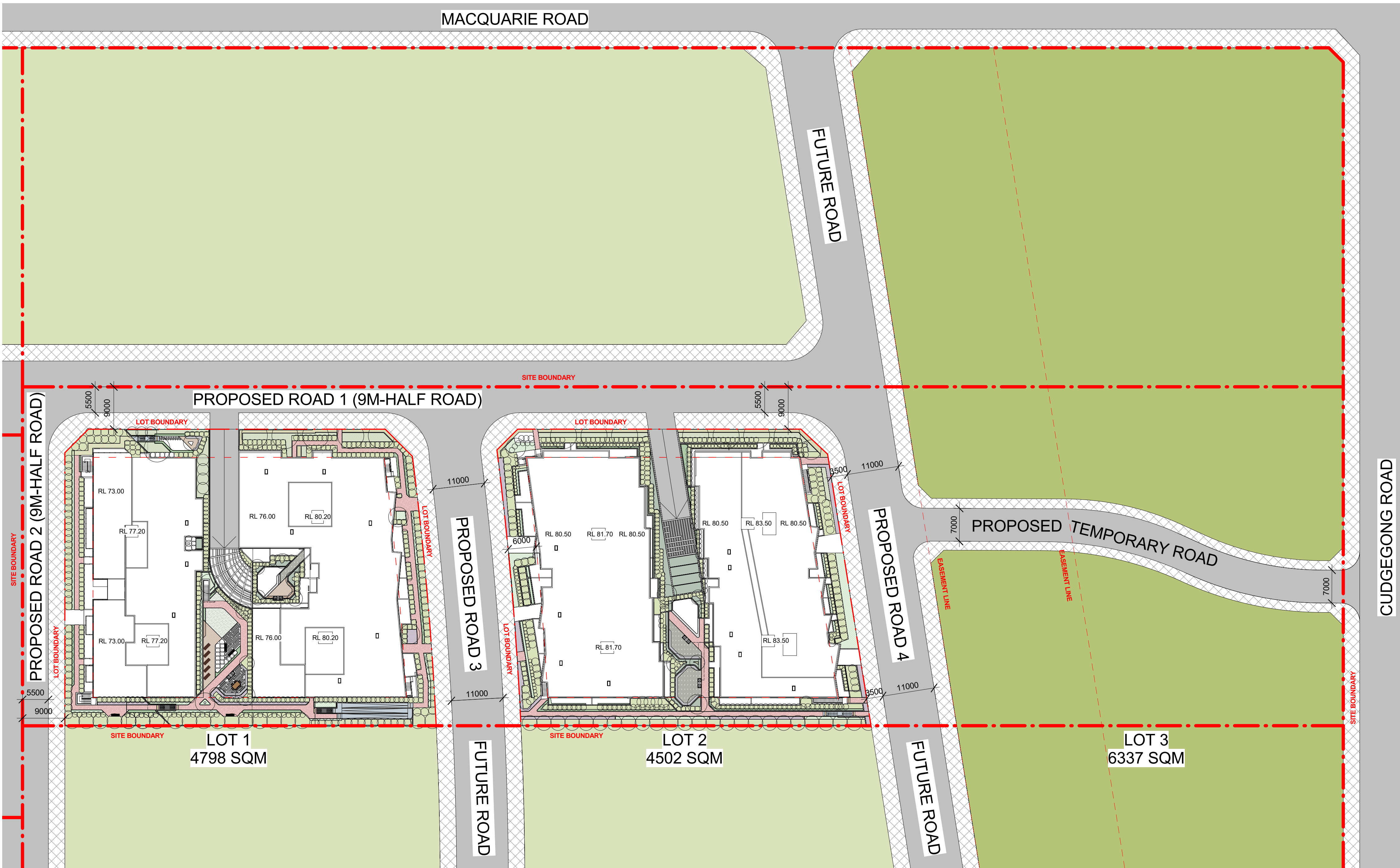
SHEET SIZE: A1

PROJECT NO. 17003

DRAWING NO. A102

REVISION 3

1/02/2019 3:24:52 PM



1 SITE PLAN
1 : 500

| PARKING LEVEL SERVICE AREA CALCULATION - LOT 1 | | | | |
|--|--------------------------------|-------------------------------|------------------|----------------|
| BUILDING | LOT 1 | | | |
| LEVEL | STORAGE | WASTE | BULKY WASTE | LOADING DOCK |
| GROUND FLOOR | 66 m ² in 23 places | | N / A | |
| LOWER GROUND | 38 m ² in 11 places | 111 m ² in 2 rooms | 9 m ² | 8.8m truck x 1 |
| BASEMENT 1 | 57 m ² in 25 places | 36 m ² in 2 rooms | | N / A |
| TOTAL | 161 m ² | 147 m ² | 9 m ² | 8.8m truck x 1 |

| PARKING LEVEL SERVICE AREA CALCULATION - LOT 2 | | | | |
|--|--------------------------------|-------------------------------|-------------------|----------------|
| BUILDING | LOT 2 | | | |
| LEVEL | STORAGE | WASTE | BULKY WASTE | LOADING DOCK |
| BASEMENT 1 | 57 m ² in 26 places | 109 m ² in 4 rooms | 12 m ² | 8.8m truck x 1 |
| BASEMENT 2 | 58 m ² in 28 places | | N / A | |
| TOTAL | 115 m ² | 109 m ² | 12 m ² | 8.8m truck x 1 |

| LOT 1 AREA | |
|------------------|-------------------|
| SITE AREA: | 4798 sqm |
| SITE COVERAGE: | 2366 sqm (49.31%) |
| LANDSCAPED AREA: | 1440 sqm (30.01%) |
| COMMUNAL AREA: | 1200 sqm (25.01%) |
| DEEP SOIL AREA: | 815 sqm (16.98%) |
| PARKING NUMBER: | 128 |
| BICYCLE PARKING: | 38 |

| LOT 2 AREA | |
|------------------|-------------------|
| SITE AREA: | 4502 sqm |
| SITE COVERAGE: | 2235 sqm (49.64%) |
| LANDSCAPED AREA: | 1404 sqm (31.19%) |
| COMMUNAL AREA: | 1153 sqm (25.61%) |
| DEEP SOIL AREA: | 479 sqm (10.64%) |
| PARKING NUMBER: | 115 |
| BICYCLE PARKING: | 34 |

Notes DA:

1. DESIGN RESOLUTION

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1.6. Ceiling RL (where shown) indicates general ceiling design level only, which does account for services bulkheads or similar partial ceiling protrusions.

1.7. Landscape component is shown indicatively only and subject to further design development at later stage.

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3. EXISTING STRUCTURES AND SERVICES

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| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
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| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |

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WEYAND PTY LTD

PROJECT

RESIDENTIAL DEVELOPMENT

105 CUDGEGONG ROAD, ROUSE HILL

ARCHITECT



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Website: www.thearc.com.au

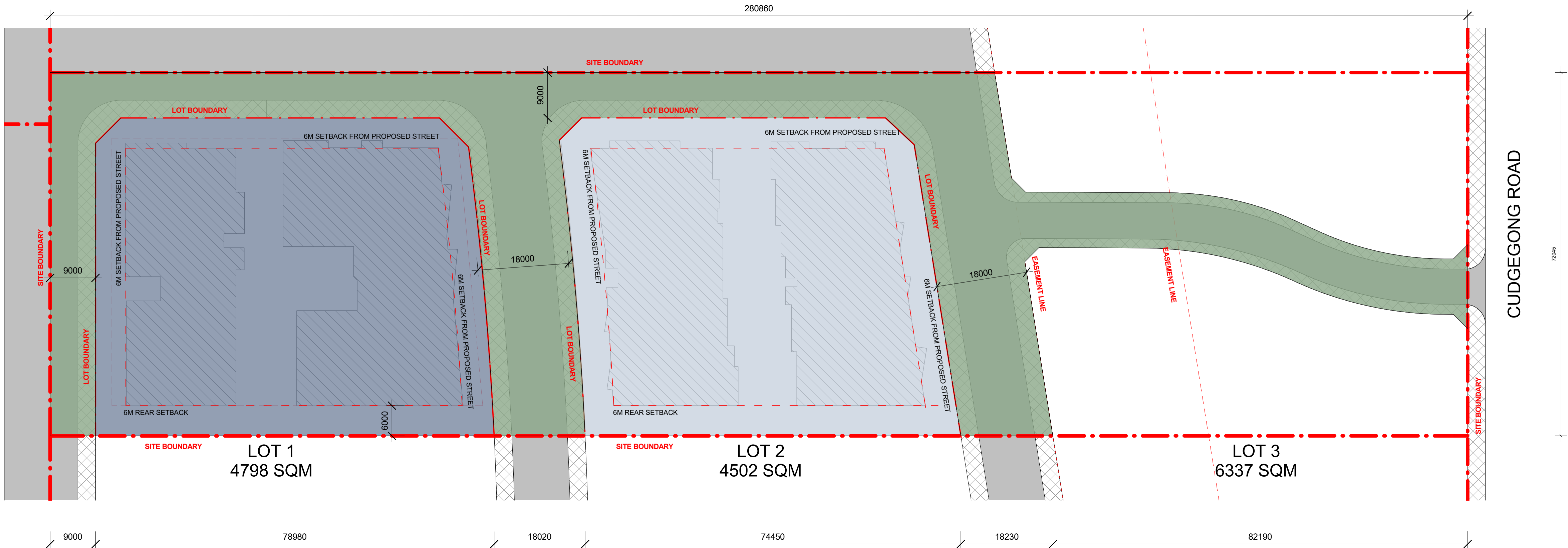
ACN 169 027 936
Australia. Singapore. Hong Kong. China

TITLE
SITE PLAN

DA SUBMISSION

| | | |
|--------------------------|----------------|----------------------|
| Scale 1 : 100 0 2 4 6 | | STAGE: DA SUBMISSION |
| | | DATE: 07/03/2018 |
| DRAWING SCALE: 1 : 500 | SHEET SIZE: A1 | |
| PROJECT NO. | DRAWING NO. | REVISION |
| 17003 | A103 | 3 |

1/02/2019 3:25:11 PM



1 INDICATIVE STAGE PLAN
1 : 500

STAGE 1:
SUBDIVISION OF THE SITE INTO THREE TORRENS TITLE ALLOTMENTS, CONSTRUCTION OF A TEMPORARY ROAD THROUGH LOT 3, CONNECT THE LOT 1 & 2 TO THE CUDGEGONG ROAD; CONSTRUCTION OF PROPOSED ROAD 3 & 4 AND PROPOSED HALF ROAD 1 & 2.

STAGE 2:
CONSTRUCTION OF 2 FOUR STOREY RESIDENTIAL FLAT BUILDING ON PROPOSED LOT 1 CONTAINING 105 UNITS. THE BUILDING CONTAINS 3 LEVELS OF BASEMENT CARPARKING CONTAINING 128 SPACES. ON-SITE DETENTION TANK IN BASEMENT AND RELEVANT PIPE WORKS.

STAGE 3:
CONSTRUCTION OF 2 FOUR STOREY RESIDENTIAL FLAT BUILDING ON PROPOSED LOT 2 CONTAINING 95 UNITS. THE BUILDING CONTAINS 2 LEVELS OF BASEMENT CARPARKING CONTAINING 115 SPACES.

LEGEND

| | | | |
|--|---------------------------|--|-----------------------|
| | PHASE 1 & ASSOCIATE WORKS | | SITE BOUNDARY |
| | PHASE 2 & ASSOCIATE WORKS | | LOT BOUNDARY |
| | PHASE 3 & ASSOCIATE WORKS | | DCP BUILDING SETBACKS |

Notes DA:

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 - The size and position of louvre sun screens is indicative and shown in open and closed positions.
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| Date | Rev | Description |

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WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



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ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

INDICATIVE STAGE PLAN

DA SUBMISSION

| | | |
|-----------------------------|----------------------|------------|
| Scale 1 : 100 0 2 4 6 | | |
| | STAGE: DA SUBMISSION | |
| | DATE: 07/03/2018 | |
| DRAWING SCALE: As indicated | SHEET SIZE: | A1 |
| PROJECT NO. 17003 | DRAWING NO. A104 | REVISION 3 |

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500mm

400mm

300mm

200mm

100mm

0mm

0mm

100mm

200mm

300mm

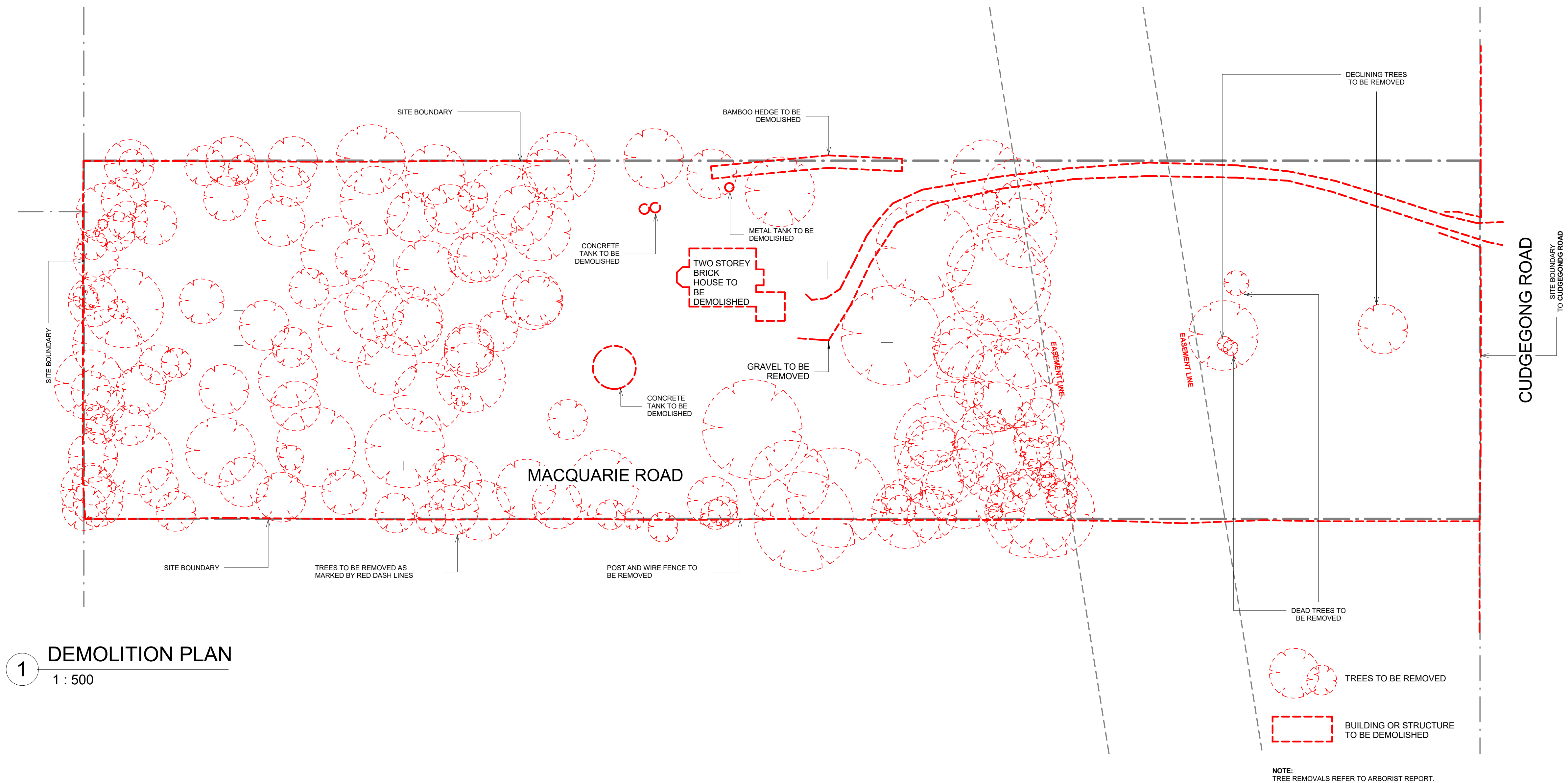
400mm

500mm

600mm

700mm

800mm



1 DEMOLITION PLAN
1 : 500

Notes DA:

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2. **GRAPHIC PRESENTATION**

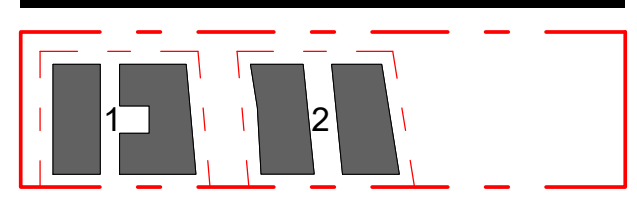
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| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |



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WEYAND PTY LTD

PROJECT

RESIDENTIAL DEVELOPMENT

105 CUDGEGONG ROAD, ROUSE HILL

ARCHITECT



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Website: www.thearc.com.au

ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

DEMOLITION & DEEP SOIL PLAN

DA SUBMISSION

| | |
|-----------------------------|----------------------------|
| Scale 1 : 100 0 2 4 6 | STAGE: DA SUBMISSION |
| | DATE: 07/03/2018 |
| DRAWING SCALE: 1 : 500 | SHEET SIZE: A1 |
| PROJECT NO. 17003 | DRAWING NO. A105 |
| | REVISION 3 |

2 DEEP SOIL PLAN
1 : 500

| DEEP SOIL CALCULATION (SQM) | |
|-------------------------------|--------------------------------|
| LOT 1 | LOT 2 |
| BY 6M: 814.68 (16.98%) | BY 6M: 479.06 (10.64%) |
| | BY 3M: 1011.27 (22.46%) |

2

500mm

400mm

300mm

200mm

100mm

0mm
0mm

100mm

200mm

300mm

400mm

500mm

600mm

700mm

800mm

Notes DA:

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| 08/03/2018 | 2 | FOR INFORMATION |
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| Date | Rev | Description |

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WEYAND PTY LTD

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105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



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ACN 169 027 936

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TITLE

COMMUNAL OPEN SPACE

DA SUBMISSION

Scale 1 : 100

0 2 4 6



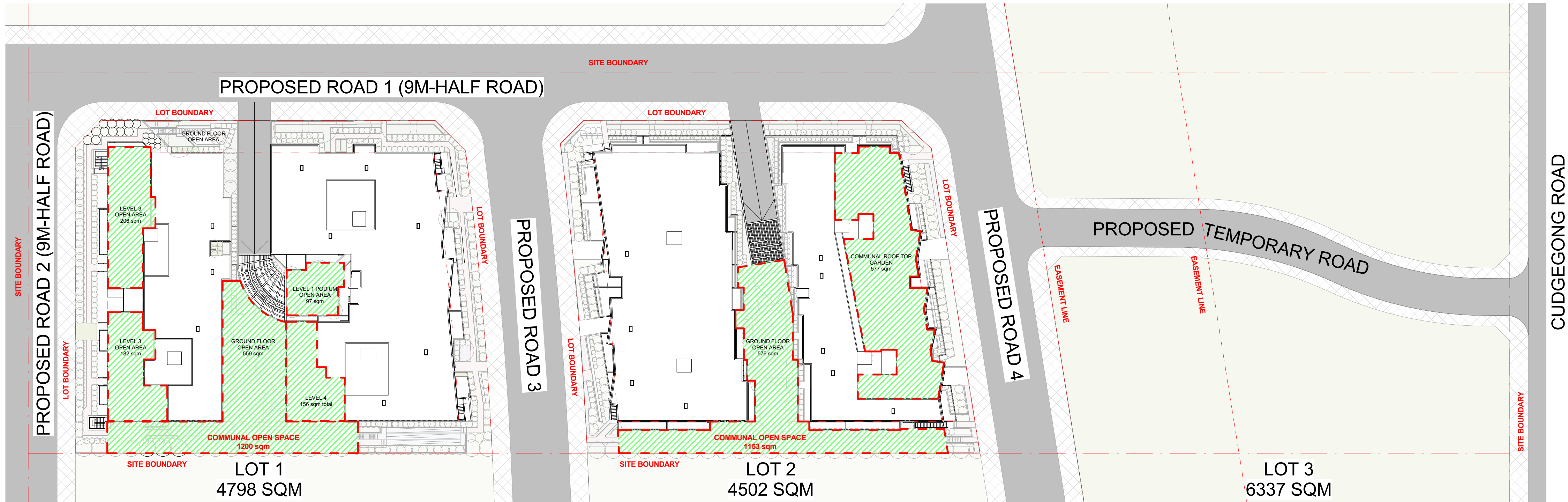
STAGE: DA SUBMISSION

DATE: 07/03/2018

DRAWING SCALE: 1 : 500 SHEET SIZE: A1

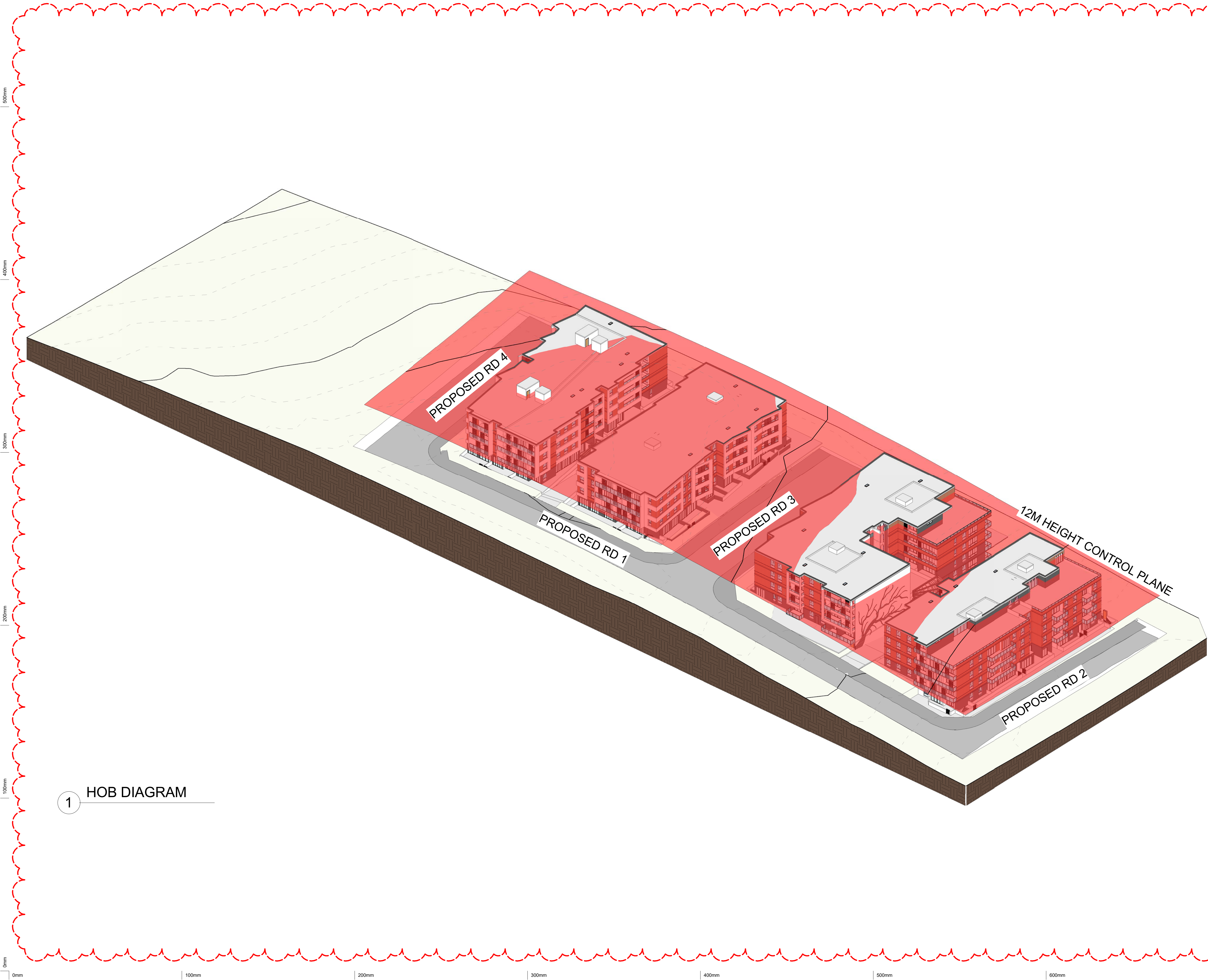
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| PROJECT NO. | DRAWING NO. | REVISION |
| 17003 | A106 | 3 |

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1 SITE PLAN COMMUNAL OPEN SPACE
1 : 500

| COMMUNAL OPEN SPACE | | |
|---------------------|----------|----------|
| LOT 1 | LOT 2 | TOTAL |
| 1200 sqm | 1153 sqm | 2392 sqm |



1 HOB DIAGRAM

Notes DA:

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| 15/01/2019 1 AMENDMENT FOR COUNCIL REQUIREMENT 1 | | |
|--|-----|-------------|
| Date | Rev | Description |
| | | |

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105 CUDGEGONG
ROAD, ROUSE HILL

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TITLE

HOB DIAGRAM

DA SUBMISSION

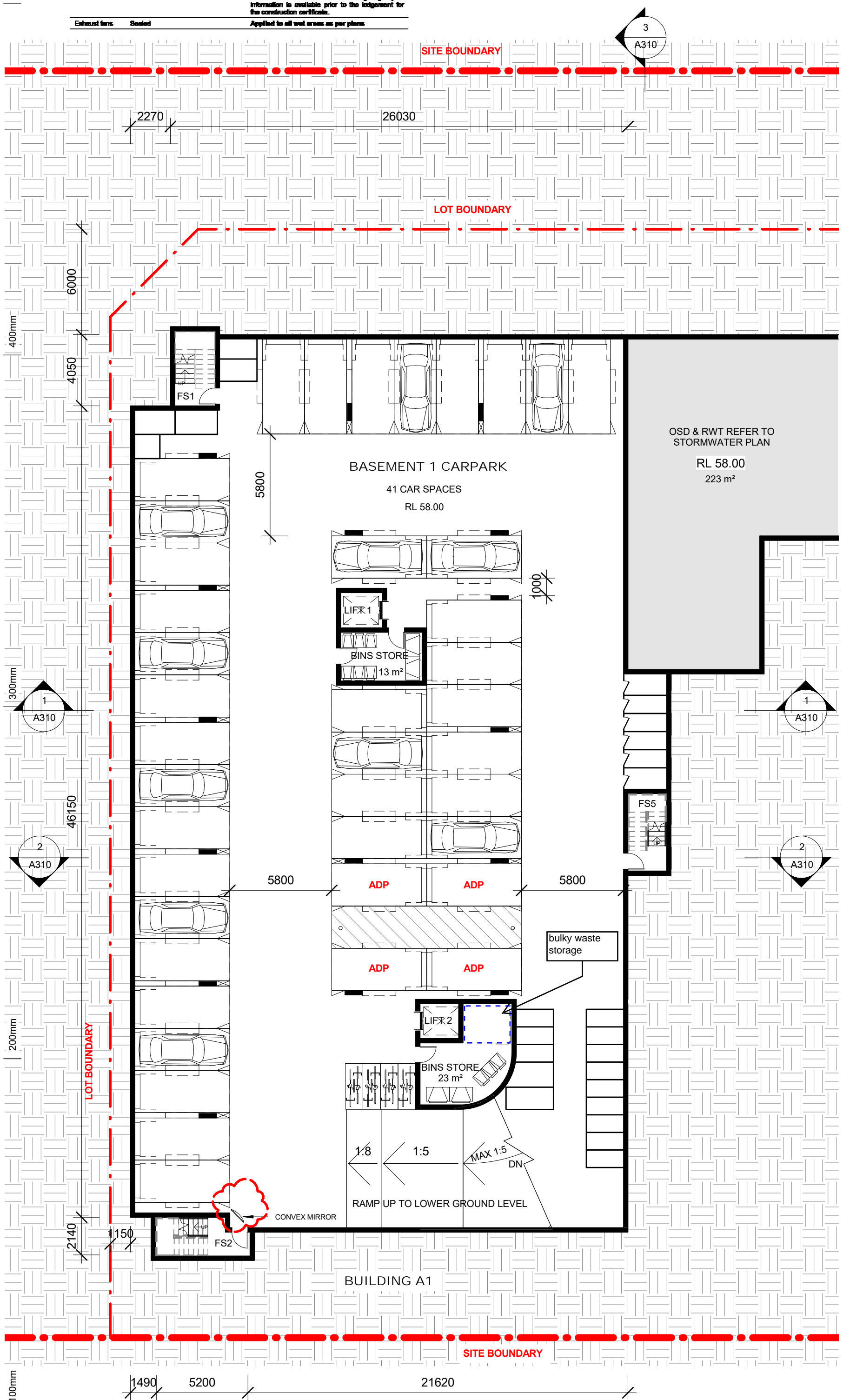
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| | | |
|----------------------|-------------|----------|
| STAGE: DA SUBMISSION | | |
| DATE: 15/01/2019 | | |
| DRAWING SCALE: | SHEET SIZE: | A1 |
| PROJECT NO. | DRAWING NO. | REVISION |
| 17003 | A107 | 1 |

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| Element | Material Type | Detail |
|------------------|--|--|
| Roof | Concrete roof + R2.0 | Light colour; The inclusive building rules and the concrete floor of them between where immediately above the thermal mass of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Valid panel wall + R1.5 insulation | Medium colour |
| Internal walls | Valid panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear | MFRC Glazing System (Clear Frame) values: Group A (Low): U = 0.7 and SHGC = 0.57 Group B (Mid): U = 0.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Doors | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underneath) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rating without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the sign-off for the construction certificate. |
| External fans | Roofset | Applied to all roof areas as per plans |

500mm



1 LOT 1 - BASEMENT 1
1 : 200

0mm

100mm

200mm

300mm

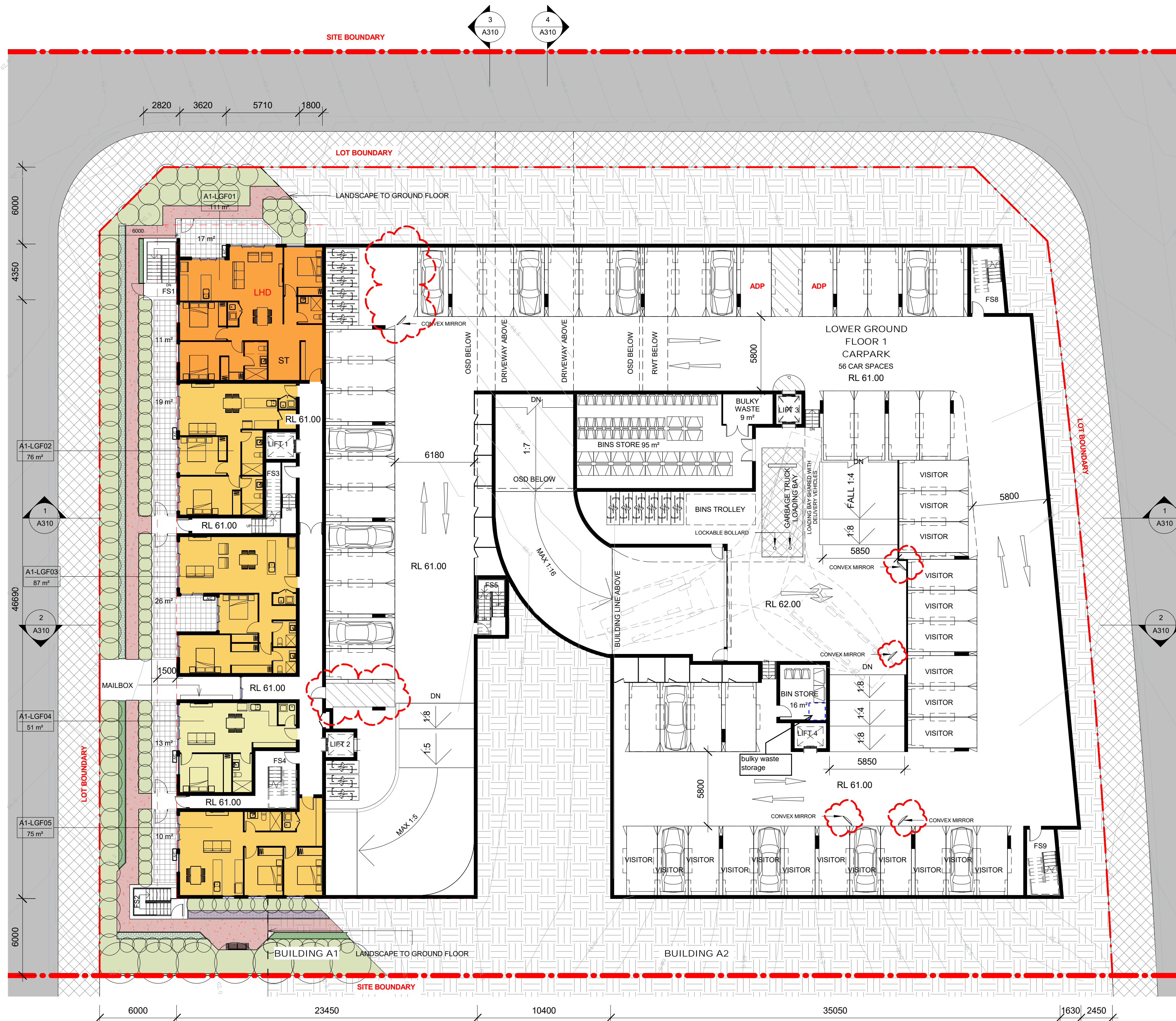
400mm

500mm

600mm

700mm

800mm



2 LOT 1 - LOWER GROUND
1 : 200

3 A310

4 A310

| CAR PARKING RATE CALCULATION | | | |
|------------------------------|-----------|----------|---------|
| UNIT TYPE | RATE | UNIT NO. | CONTROL |
| 1 BED | 1 SPACE | 28 | 28 |
| 2 BED | 1 SPACE | 73 | 79 |
| 3 BED | 1.5 SPACE | 4 | 6 |
| RESIDENTS | - | 105 | 107 |
| VISTOR | 0.2 SPACE | 105 | 21 |
| TOTAL | - | 105 | 128 |

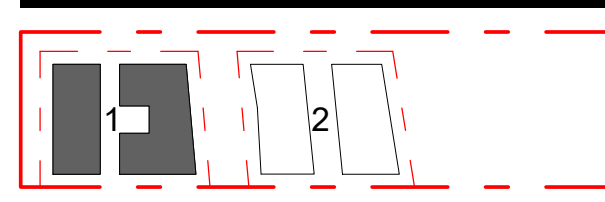
| CAR PARKING NUMBER | | | | |
|--------------------|----|----|----|-------|
| PARKING TYPE | GF | LG | B1 | FINAL |
| RESIDENTS | 29 | 33 | 37 | 99 |
| RESIDENTS(ADP) | 2 | 2 | 4 | 8 |
| VISTOR | 0 | 21 | 0 | 21 |
| TOTAL | 31 | 56 | 41 | 128 |
| BIKE | 0 | 30 | 8 | 38 |

LDH: Liveable Unit: 1 Unit
ADP: Adaptable Unit: N/A
ST: Storage

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|------------|-----|-------------------------------------|
| 15/01/2019 | 4 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |



COLOUR LEGEND

- 1 BED
- 2 BED
- 3 BED
- BALCONY

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TITLE
LOT 1 - BASEMENT & LOWER GROUND

DA SUBMISSION

Scale 1 : 100
0 2 4 6

STAGE: DA SUBMISSION
DATE: 15/01/2019

DRAWING SCALE: As indicated
SHEET SIZE: A1
PROJECT NO: 17003
DRAWING NO: A201
REVISION: 4

1/02/2019 3:26:18 PM

| Element | Material Type | Detail |
|------------------|---|---|
| Roof | Concrete roof + R3.0 | Light colour. This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hebel panel wall + R1.5 insulation | Medium colour |
| Internal walls | Hebel panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear | NFRC Glazing System (Glass+Frame) values: Group A (swinging): U = 6.7 and SHGC = 0.57 Group B (sliding & fixed): U = 6.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underslab) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rating without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |

LDH: Liveable Unit: 3 Units

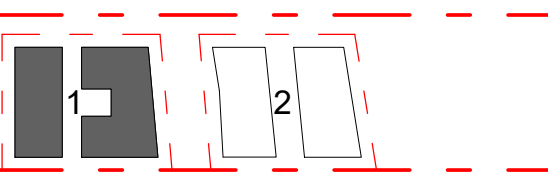
ADP: Adaptable Unit: 2 Units

ST: Storage

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3.2 All unchanged site levels are as per the existing survey information.

| 15/01/2019 | 4 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
|------------|-----|-------------------------------------|
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |



COLOUR LEGEND

- 1 BED
- 2 BED
- 3 BED
- BALCONY

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



Planning . Architecture . Interior . Landscapes
The Silver Arc Dreamscapes Pty Ltd

S1502, Level 15, Citadel Towers, Tower B, 799
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Phone (02) 80686318
Email: info@thearc.com.au
Website: www.thearc.com.au

ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

LOT 1 - GROUND

DA SUBMISSION

Scale 1: 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 15/01/2019

DRAWING SCALE: As indicated

SHEET SIZE: A1

PROJECT NO.

17003

DRAWING NO.

A202

REVISION

4

1/02/2019 3:26:36 PM

1 LOT 1 - GROUND FLOOR
1 : 200

| Element | Material Type | Detail |
|------------------|---|---|
| Roof | Concrete roof + R3.0 | Light colour. This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hebel panel wall + R1.5 insulation | Medium colour |
| Internal walls | Hebel panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear | NFRC Glazing System (Glass-Frame) values: Group A (swinging): U = 6.7 and SHGC = 0.57 Group B (sliding & fixed): U = 6.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underside) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rating without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |

LDH: Liveable Unit: 5 Units

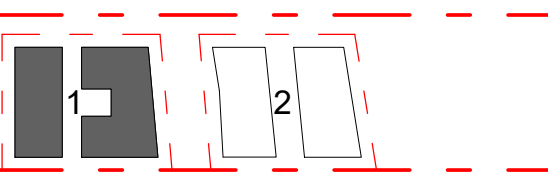
ADP: Adaptable Unit: 2 Units

ST: Storage

Notes DA:

- DESIGN RESOLUTION
1.1 The drawings represent general architectural intent for the purpose of this development application only.
1.2 The internal layout is shown indicatively and is subject to further design development.
1.3 The dimensions shown are general only and are subject to further design resolution.
1.4 Location of car park entry point is general only and will be confirmed and dimensioned at later stage.
1.5 The size and position of louvre sun screens is indicative and shown in open and closed positions.
1.6 Ceiling RL (where shown) indicates general ceiling design level only, which does account for services, bulkheads or similar partial ceiling protrusions.
1.7 Landscape component is shown indicatively only and subject to further design development at later stage.
1.8 Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.
- GRAPHIC PRESENTATION
2.1 Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour deviation may also occur in the printing process.
- EXISTING STRUCTURES AND SERVICES
3.1 Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.
3.2 All unchanged site levels are as per the existing survey information.

| 15/01/2019 | 4 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
|------------|-----|-------------------------------------|
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |



COLOUR LEGEND

- 1 BED
- 2 BED
- 3 BED
- BALCONY

CLIENT

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PROJECT

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105 CUDGONG ROAD, ROUSE HILL

ARCHITECT



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ACN 169 027 936

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TITLE

LOT 1 - LEVEL 1

DA SUBMISSION

Scale 1: 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 15/01/2019

DRAWING SCALE: As indicated

SHEET SIZE: A1

PROJECT NO.

17003

DRAWING NO.

A203

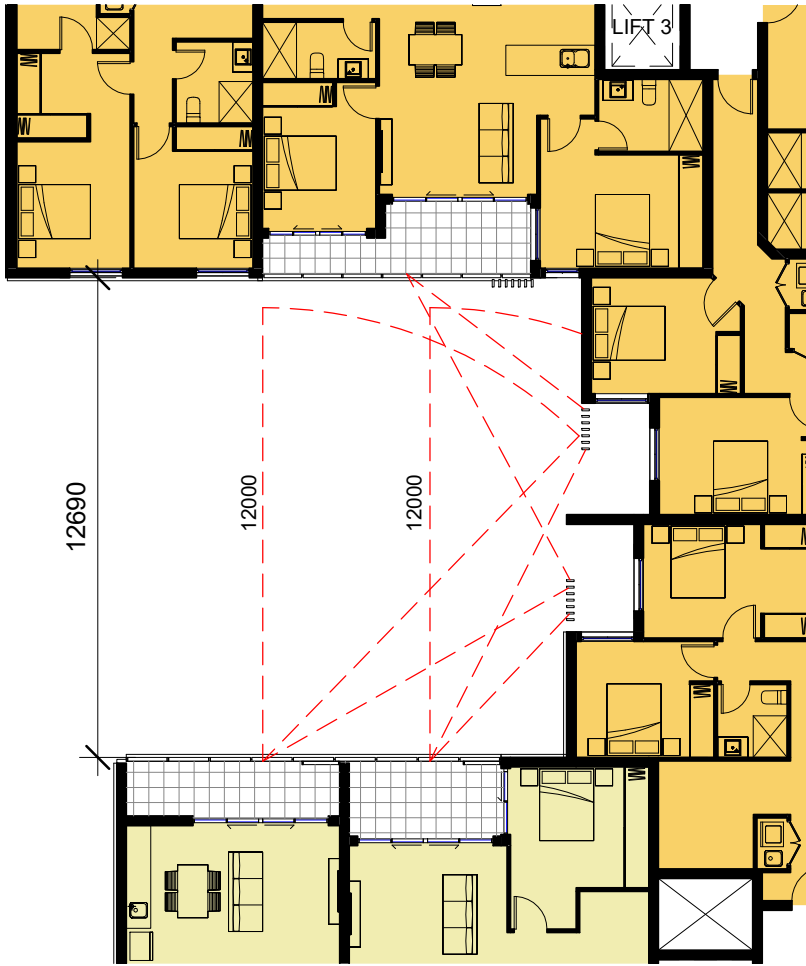
REVISION

4

1/02/2019 3:26:52 PM

LOT 1 - LEVEL 1
1 : 200

| Element | Material Type | Detail |
|------------------|---|---|
| Roof | Concrete roof + R3.0 | Light colour. This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hobas panel wall + R1.5 insulation | Medium colour |
| Internal walls | Hobas panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear | NFRC Glazing System (Glass+Frame) values: Group A (awning): U = 0.7 and SHGC = 0.57 Group B (sliding & fixed): U = 0.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underslab) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rating without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |

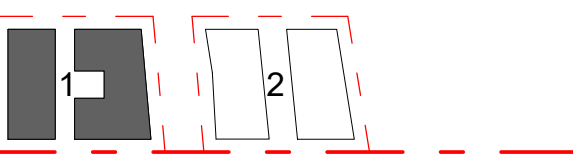


CORNER UNITS PRIVACY DIAGRAM

| Notes DA: | | |
|-------------------------------------|---|--|
| 1. DESIGN RESOLUTION | | |
| 1.1. | The drawings represent general architectural intent for the purpose of this development application only. | |
| 1.2. | The internal layout is shown indicatively and is subject to further design development. | |
| 1.3. | The dimensions shown are general only and are subject to further design resolution. | |
| 1.4. | Location of car park entry point is general only and will be confirmed and dimensioned at later stage. | |
| 1.5. | The size and position of louvre sun screens is indicative and shown in open and closed positions. | |
| 1.6. | Ceiling RL (where shown) indicates general ceiling design level only, which does account for services, bulkheads or similar partial ceiling protrusions. | |
| 1.7. | Landscape component is shown indicatively only and subject to further design development at later stage. | |
| 1.8. | Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc. | |
| 2. GRAPHIC PRESENTATION | | |
| 2.1. | Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour distortion may also occur in the printing process. | |
| 3. EXISTING STRUCTURES AND SERVICES | | |
| 3.1. | Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage. | |
| 3.2. | All unchanged site levels are as per the existing survey information. | |

LDH: Liveable Unit: 5 Units
ADP: Adaptable Unit: 2 Units
ST: Storage

| | | |
|------------|-----|-------------------------------------|
| 15/01/2019 | 4 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |



COLOUR LEGEND

| |
|---------|
| 1 BED |
| 2 BED |
| 3 BED |
| BALCONY |

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

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Website: www.thearc.com.au

ACN 169 027 936

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TITLE

LOT 1 - LEVEL 2

DA SUBMISSION

Scale 1: 100

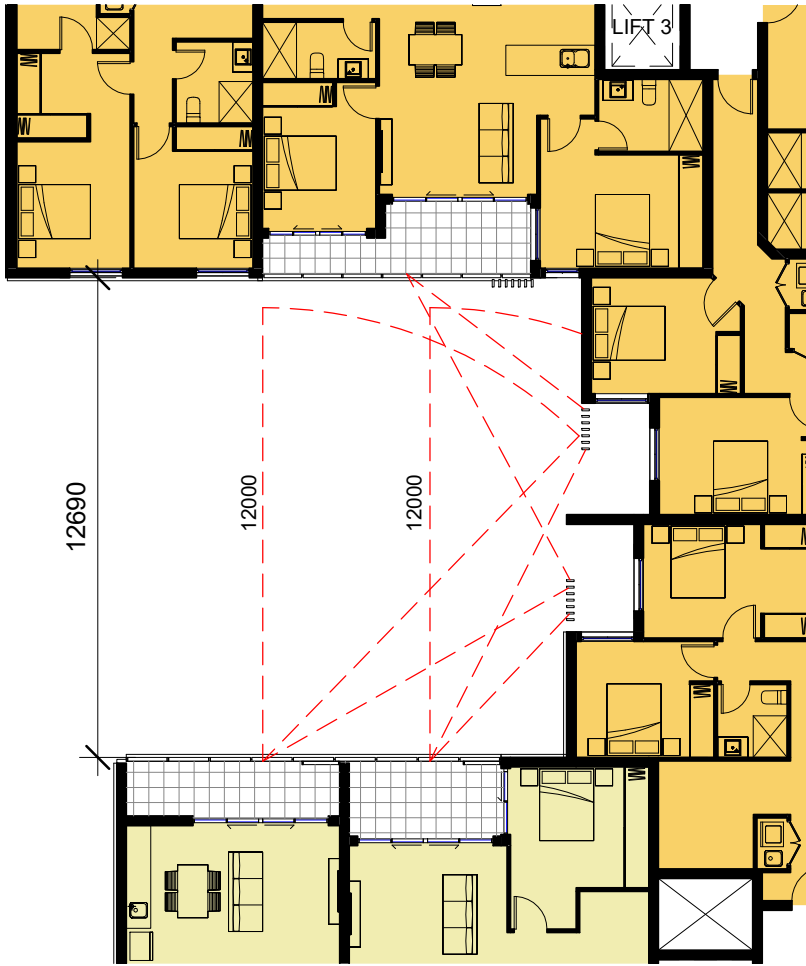
STAGE: DA SUBMISSION
DATE: 15/01/2019

DRAWING SCALE: As indicated
SHEET SIZE: A1
PROJECT NO: 17003
DRAWING NO: A204
REVISION: 4

1/02/2019 3:27:07 PM

LOT 1 - LEVEL 2
1 : 200

| Element | Material Type | Detail |
|------------------|---|--|
| Roof | Concrete roof + R3.0 | Light colour: This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hebel panel wall + R1.5 insulation | Medium colour |
| Internal walls | Hebel panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear | NFRC Glazing System (Glass+Frame) values: Group A (awning): U = 6.7 and SHGC = 0.57 Group B (sliding & fixed): U = 6.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underslab) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rolling without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |

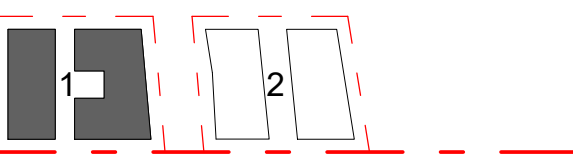


CORNER UNITS PRIVACY DIAGRAM

- Notes DA:**
- DESIGN RESOLUTION**
 - The drawings represent general architectural intent for the purpose of this development application only.
 - The internal layout is shown indicatively and is subject to further design development.
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 - The size and position of louvre sun screens is indicative and shown in open and closed positions.
 - Ceiling RL (where shown) indicates general ceiling design level only, which does account for services, bulkheads or similar partial ceiling protrusions.
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 - Location of plant, equipment and services on drawings is general and indicative only and does not include minor elements, such as vent pipes, flues, aerials, etc.
 - GRAPHIC PRESENTATION**
 - Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour distortion may also occur in the printing process.
 - EXISTING STRUCTURES AND SERVICES**
 - Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.
 - All unchanged site levels are as per the existing survey information.

LDH: Liveable Unit: 4 Units
ADP: Adaptable Unit: 2 Units
ST: Storage

| Date | Rev | Description |
|------------|-----|-------------------------------------|
| 15/01/2019 | 4 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |



COLOUR LEGEND

- 1 BED
- 2 BED
- 3 BED
- BALCONY

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL DEVELOPMENT

105 CUDGEGONG ROAD, ROUSE HILL

ARCHITECT



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The Silver Arc Dreamscapes Pty Ltd

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Website: www.thearc.com.au

ACN 169 027 936

Australia, Singapore, Hong Kong, China

TITLE

LOT 1 - LEVEL 3

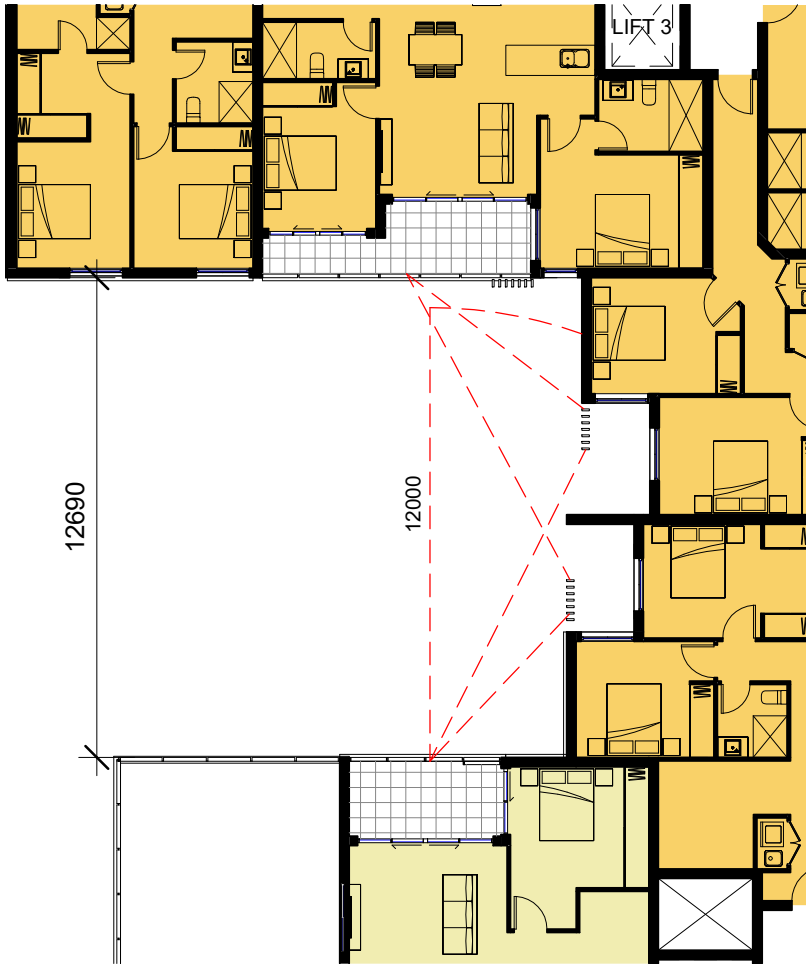
DA SUBMISSION

| | |
|-----------------------------|----------------------|
| Scale 1: 100 | STAGE: DA SUBMISSION |
| DATE: 15/01/2019 | |
| DRAWING SCALE: As indicated | SHEET SIZE: A1 |
| PROJECT NO. 17003 | DRAWING NO. A205 |
| | REVISION 4 |

1/02/2019 3:27:22 PM

LOT 1 - LEVEL 3
1 : 200

| Element | Material Type | Detail |
|------------------|---|--|
| Roof | Concrete roof + R3.0 | Light colour: This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hobel panel wall + R1.5 insulation | Medium colour |
| Internal walls | Hobel panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear | NFRC Glazing System (Glass+Frame) values: Group A (swinging): U = 0.7 and SHGC = 0.57 Group B (sliding & fixed): U = 0.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underslab) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rolling without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |

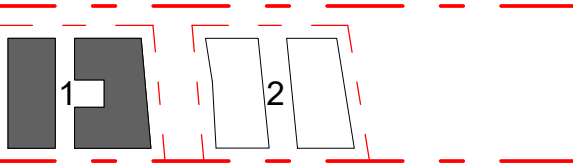


CORNER UNITS PRIVACY DIAGRAM

| Notes DA: | | |
|-------------------------------------|---|--|
| 1. DESIGN RESOLUTION | | |
| 1.1. | The drawings represent general architectural intent for the purpose of this development application only. | |
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| 1.5. | The size and position of louvre sun screens is indicative and shown in open and closed positions. | |
| 1.6. | Ceiling RL (where shown) indicates general ceiling design level only, which does account for services, bulkheads or similar partial ceiling protrusions. | |
| 1.7. | Landscape component is shown indicatively only and subject to further design development at later stage. | |
| 1.8. | Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc. | |
| 2. GRAPHIC PRESENTATION | | |
| 2.1. | Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour deviation may also occur in the printing process. | |
| 3. EXISTING STRUCTURES AND SERVICES | | |
| 3.1. | Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage. | |
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LDH: Liveable Unit: 3 Units
ADP: Adaptable Unit: N/A
ST: Storage

| 15/01/2019 | 4 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
|------------|-----|-------------------------------------|
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |



COLOUR LEGEND

- 1 BED
- 2 BED
- 3 BED
- BALCONY

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



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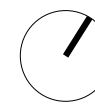
TITLE

LOT 1 - LEVEL 4

DA SUBMISSION

Scale 1 : 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 15/01/2019

DRAWING SCALE: As indicated

SHEET SIZE: A1

PROJECT NO.

17003

DRAWING NO.

A206

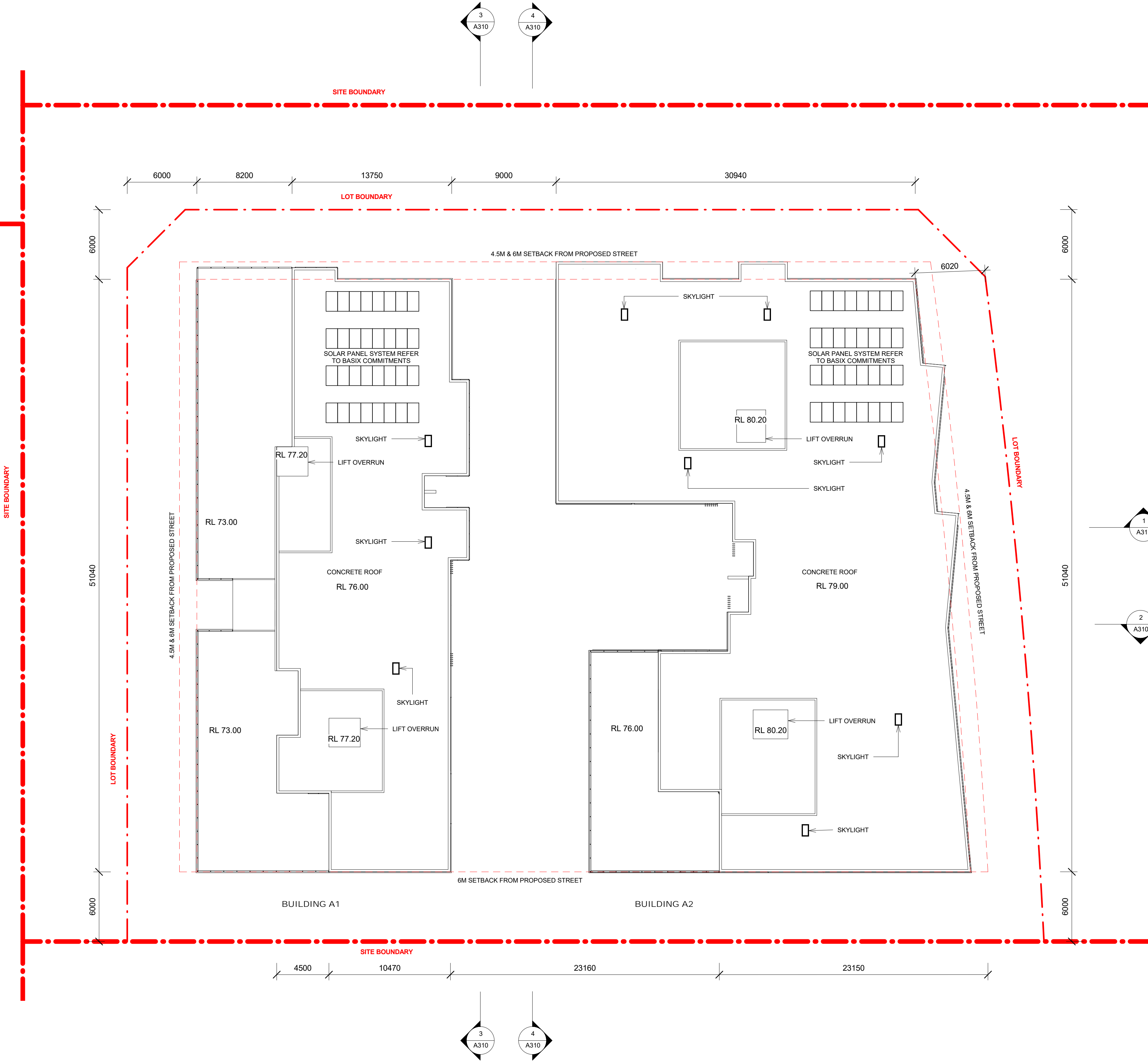
REVISION

4

1/02/2019 3:27:34 PM

1 LOT 1 - LEVEL 4
1 : 200

| Element | Material Type | Detail |
|------------------|---|--|
| Roof | Concrete roof + R3.0 | Light colour. This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hobas panel wall + R1.5 insulation | Medium colour |
| Internal walls | Hobas panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear Throughout | NFRC Glazing System (Glass+Frame) values: Group A (swinging): U = 0.7 and SHGC = 0.57 Group B (sliding & fixed): U = 0.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underslab) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rolling without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |



1 LOT 1 - ROOF LEVEL
1 : 200

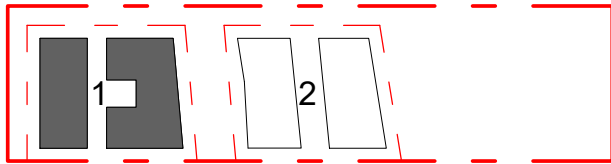
Notes DA:

1. **DESIGN RESOLUTION**
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1.8. Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.

2. **GRAPHIC PRESENTATION**
2.1. Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour distortion may also occur in the printing process.

3. **EXISTING STRUCTURES AND SERVICES**
3.1. Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.
3.2. All unchanged site levels are as per the existing survey information.

| | | |
|------------|-----|-----------------------------------|
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |



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105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



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ACN 169 027 936

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TITLE

LOT 1 - ROOF PLAN

DA SUBMISSION

| | | |
|--------------------------|----------------------|----------|
| Scale 1 : 100 0 2 4 6 | | |
| | STAGE: DA SUBMISSION | |
| | DATE: 07/03/2018 | |
| DRAWING SCALE: 1 : 200 | SHEET SIZE: | A1 |
| PROJECT NO. | DRAWING NO. | REVISION |
| 17003 | A207 | 3 |

1/02/2019 3:27:42 PM

Notes DA:

1. DESIGN RESOLUTION

1.1. The drawings represent general architectural intent for the purpose of this development application only.

1.2. The internal layout is shown indicatively and is subject to further design development.

1.3. The dimensions shown are general only and are subject to further design resolution.

1.4. Location of car park entry point is general only and will be confirmed and dimensioned at later stage.

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1.7. Landscape component is shown indicatively only and subject to further design development at later stage.

1.8. Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.

2. GRAPHIC PRESENTATION

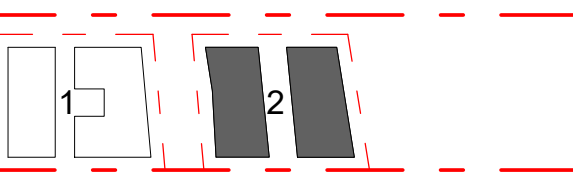
2.1. Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour deviation may also occur in the printing process.

3. EXISTING STRUCTURES AND SERVICES

3.1. Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.

3.2. All unchanged site levels are as per the existing survey information.

| | | |
|------------|-----|-------------------------------------|
| 15/01/2019 | 4 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |



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WEYAND PTY LTD

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ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

LOT 2 - BASEMENT 1 & 2

DA SUBMISSION

Scale 1: 100

STAGE: DA SUBMISSION

DATE: 15/01/2019

DRAWING SCALE: As indicated

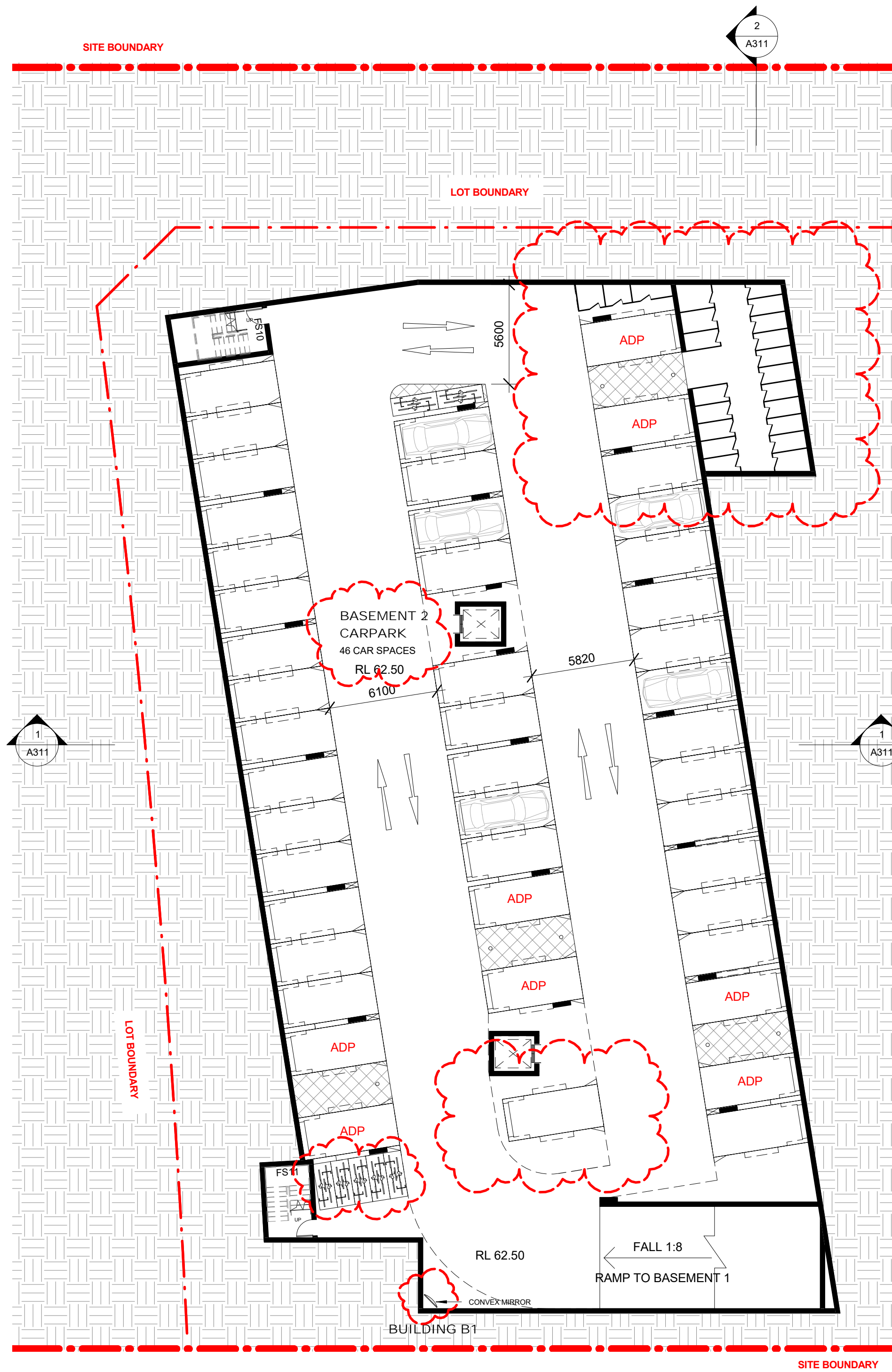
SHEET SIZE: A1

PROJECT NO. 17003

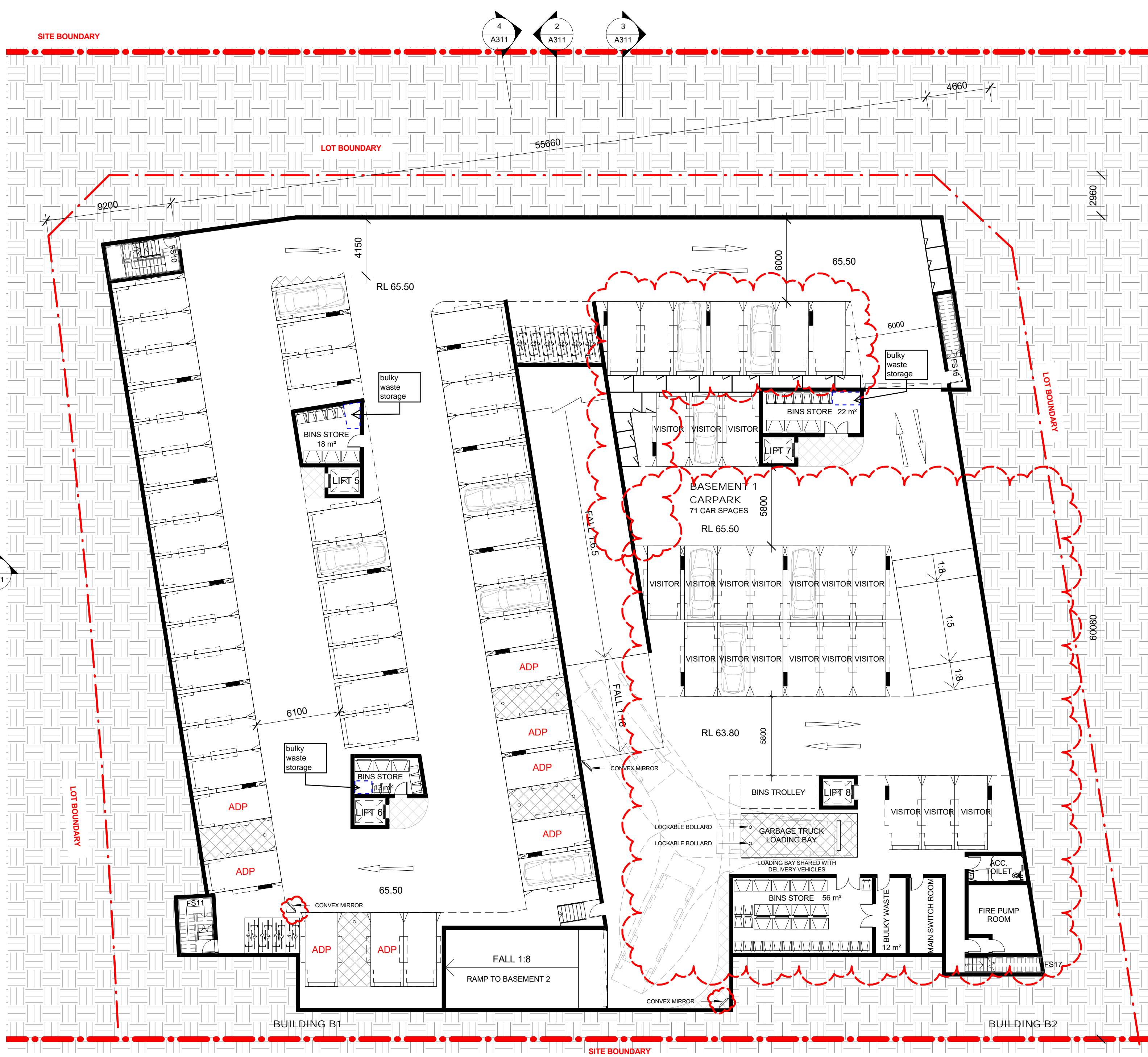
DRAWING NO. A208

REVISION 4

4/02/2019 4:06:48 PM



1 LOT 2 BASEMENT 2
1: 200



2 LOT 2 BASEMENT 1
1: 200

| CAR PARKING RATE CALCULATION | | | |
|------------------------------|-----------|----------|---------|
| UNIT TYPE | RATE | UNIT NO. | CONTROL |
| 1 BED | 1 SPACE | 21 | 21 |
| 2 BED | 1 SPACE | 69 | 69 |
| 3 BED | 1.5 SPACE | 5 | 8 |
| RESIDENTS | - | 95 | 98 |
| VISTOR | 0.2 SPACE | 95 | 19 |
| TOTAL | - | 95 | 117 |

| CAR PARKING NUMBER | | | |
|--------------------|----|----|-------|
| PARKING TYPE | B1 | B2 | FINAL |
| RESIDENTS | 44 | 38 | 82 |
| RESIDENTS(ADP) | 8 | 8 | 16 |
| VISTOR | 19 | 0 | 19 |
| TOTAL | 71 | 46 | 117 |
| BIKE | 20 | 14 | 34 |

| Element | Material Type | Detail |
|------------------|---|---|
| Roof | Concrete roof + R3.0 | Light colour. This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below. |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hobas panel wall + R1.5 insulation | Medium colour |
| Internal walls | Hobas panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear | NFRC Glazing System (Glass+Frame) values: Group A (swinging): U = 6.7 and SHGC = 0.57 Group B (sliding & fixed): U = 6.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underside) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rating without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |

LDH: Liveable Unit: 5 Units

ADP: Adaptable Unit: 4 Units

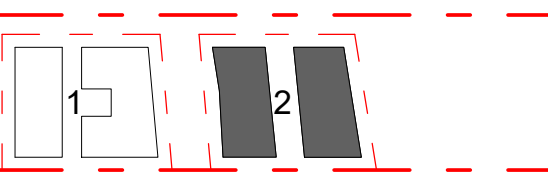
ST: Storage

Notes DA:

- DESIGN RESOLUTION
1.1 The drawings represent general architectural intent for the purpose of this development application only.
1.2 The internal layout is shown indicatively and is subject to further design development.
1.3 The dimensions shown are general only and will be confirmed and dimensioned at later stage.
1.4 Location of car park entry point is general only and will be confirmed and dimensioned at later stage.
1.5 The size and position of louvre sun screens is indicative and shown in open and closed positions.
1.6 Ceiling RL (where shown) indicates general ceiling design level only, which does account for services, bulkheads or similar partial ceiling protrusions.
1.7 Landscape component is shown indicatively only and subject to further design development at later stage.
1.8 Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, vents, etc.
- GRAPHIC PRESENTATION
2.1 Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour deviation may also occur in the printing process.
- EXISTING STRUCTURES AND SERVICES
3.1 Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.
3.2 All unchanged site levels are as per the existing survey information.



| Date | Rev | Description |
|------------|-----|-------------------------------------|
| 15/01/2019 | 4 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
| 07/03/2019 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2019 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |



COLOUR LEGEND

- 1 BED
- 2 BED
- 3 BED
- BALCONY

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



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Website: www.thearc.com.au

ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

LOT 2 - GROUND FLOOR

DA SUBMISSION

| | |
|-----------------------------|----------------------|
| Scale 1: 100 | STAGE: DA SUBMISSION |
| DATE: 15/01/2019 | |
| DRAWING SCALE: As indicated | SHEET SIZE: A1 |
| PROJECT NO: 17003 | DRAWING NO: A209 |
| | REVISION: 4 |

1/02/2019 3:28:02 PM

| Element | Material Type | Detail |
|------------------|---|---|
| Roof | Concrete roof + R3.0 | Light colour: This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hobel panel wall + R1.5 insulation | Medium colour |
| Internal walls | Hobel panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear | NFRC Glazing System (Glass+Frame) values: Group A (swinging): U = 0.7 and SHGC = 0.57 Group B (sliding & fixed): U = 0.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underslab) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rating without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |

LDH: Liveable Unit: 5 Units

ADP: Adaptable Unit: 4 Units

ST: Storage

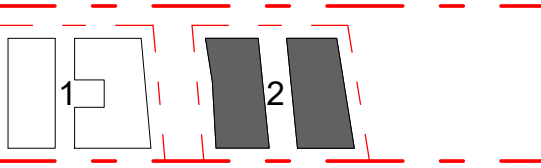
Notes DA:

- DESIGN RESOLUTION
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- GRAPHIC PRESENTATION
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LOT 2 - LEVEL 1
1 : 200

| Date | Rev | Description |
|------------|-----|-------------------------------------|
| 15/01/2019 | 4 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
| 07/03/2019 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2019 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |



COLOUR LEGEND

- 1 BED
- 2 BED
- 3 BED
- BALCONY

CLIENT

WEYAND PTY LTD

PROJECT

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DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



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Email: info@thearc.com.au
Website: www.thearc.com.au

ACN 169 027 936

Australia, Singapore, Hong Kong, China

TITLE

LOT 2 - LEVEL 1

DA SUBMISSION

Scale 1 : 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 15/01/2019

DRAWING SCALE: As indicated

SHEET SIZE: A1

PROJECT NO. 17003

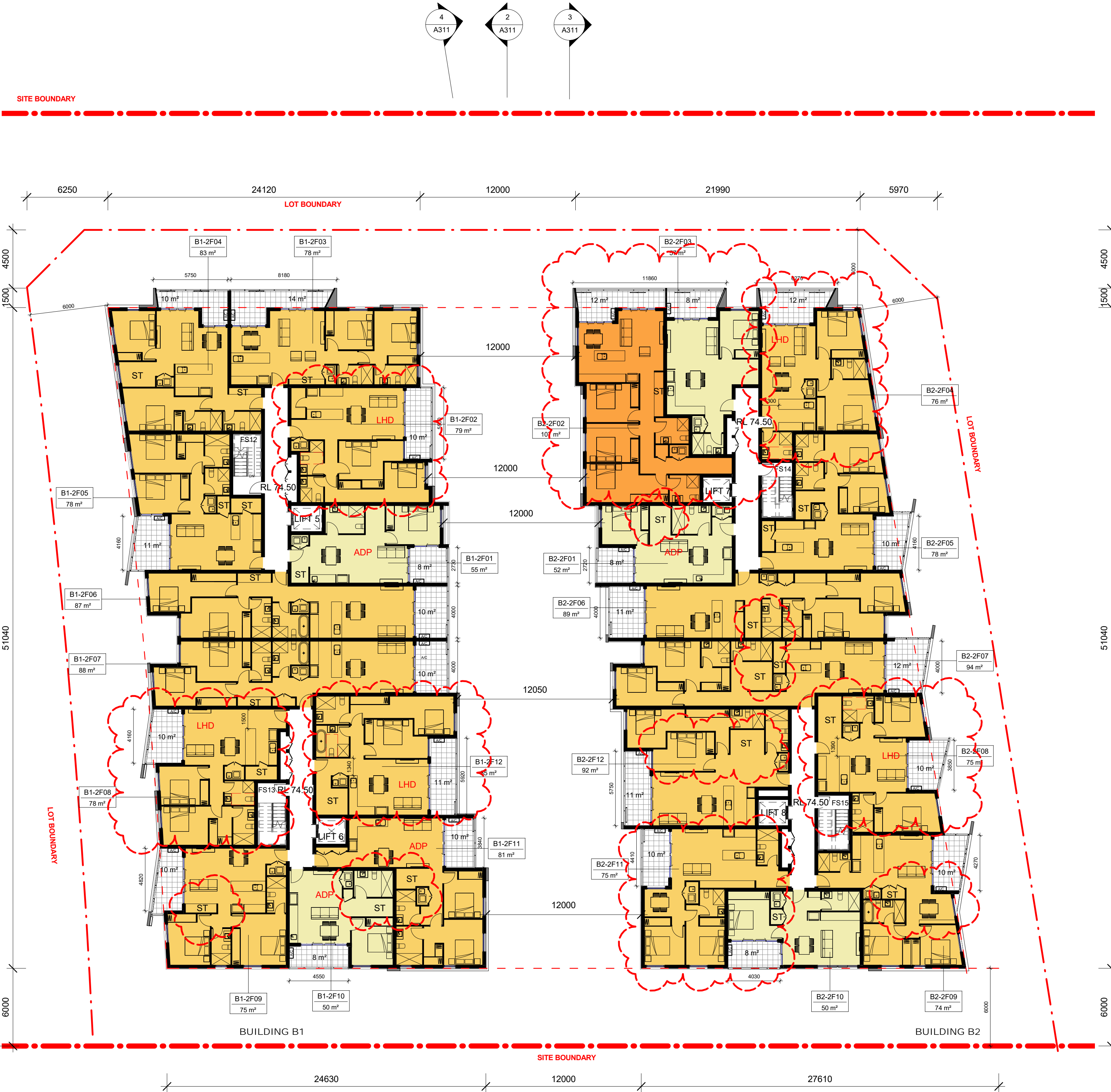
DRAWING NO. A210

REVISION

4

1/02/2019 3:28:19 PM

| Element | Material Type | Detail |
|------------------|---|--|
| Roof | Concrete roof + R3.0 | Light colour; This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hobel panel wall + R1.5 insulation | Medium colour |
| Internal walls | Hobel panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear | NFRC Glazing System (Glass+Frame) values: Group A (swinging): U = 6.7 and SHGC = 0.57 Group B (sliding & fixed): U = 6.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underslab) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rolling without downlights as no lighting layout design is available at the time of assessment; This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |



1 LOT 2 - LEVEL 2
1 : 200

LDH: Liveable Unit: 5 Units
ADP: Adaptable Unit: 4 Units
ST: Storage

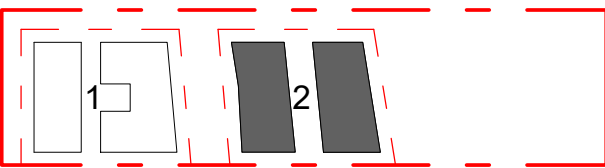
Notes DA:

1. DESIGN RESOLUTION
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1.7. Landscape component is shown indicatively only and subject to further design development at later stage.
1.8. Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.

2. GRAPHIC PRESENTATION
2.1. Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour deletion may also occur in the printing process.

3. EXISTING STRUCTURES AND SERVICES
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| 15/01/2019 | 4 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
|------------|-----|-------------------------------------|
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |



COLOUR LEGEND

- 1 BED
- 2 BED
- 3 BED
- BALCONY

CLIENT

WEYAND PTY LTD

PROJECT

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DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



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Website: www.thearc.com.au

ACN 169 027 936

Australia, Singapore, Hong Kong, China

TITLE

LOT 2 - LEVEL 2

DA SUBMISSION

| | | | |
|-----------------------------|-------------|----------------------|----------|
| Scale 1 : 100 0 2 4 6 | | STAGE: DA SUBMISSION | |
| DATE: 15/01/2019 | | SHEET SIZE: A1 | |
| DRAWING SCALE: As indicated | PROJECT NO. | DRAWING NO. | REVISION |
| 17003 | A211 | 4 | |

1/02/2019 3:28:39 PM

| Element | Material Type | Detail |
|------------------|---|--|
| Roof | Concrete roof + R3.0 | Light colour; This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hobel panel wall + R1.5 insulation | Medium colour |
| Internal walls | Hobel panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear | NFRC Glazing System (Glass+Frame) values: Group A (swinging): U = 0.7 and SHGC = 0.57 Group B (sliding & fixed): U = 0.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underslab) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rolling without downlights as no lighting layout design is available at the time of assessment; This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |

LDH: Liveable Unit: 5 Units

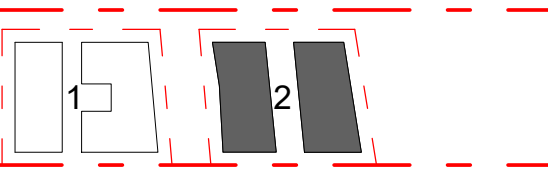
ADP: Adaptable Unit: 4 Units

ST: Storage

Notes DA:

- DESIGN RESOLUTION
1.1 The drawings represent general architectural intent for the purpose of this development application only.
1.2 The internal layout is shown indicatively and is subject to further design development.
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| 15/01/2019 | 4 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
|------------|-----|-------------------------------------|
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
| 08/02/2018 | 2 | FOR INFORMATION |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |



COLOUR LEGEND

- 1 BED
- 2 BED
- 3 BED
- BALCONY

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



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Australia, Singapore, Hong Kong, China

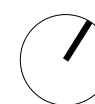
TITLE

LOT 2 - LEVEL 3

DA SUBMISSION

Scale 1: 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 15/01/2019

DRAWING SCALE: As indicated

SHEET SIZE: A1

PROJECT NO. 17003

DRAWING NO. A212

REVISION 4

1/02/2019 3:29:01 PM

LOT 2 - LEVEL 3
1 : 200



| Element | Material Type | Detail |
|------------------|---|---|
| Roof | Concrete roof + R3.0 | Light colour: This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hobas panel wall + R1.5 insulation | Medium colour |
| Internal walls | Hobas panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear Throughout | NFRC Glazing System (Glass+Frame) values: Group A (swinging): U = 0.7 and SHGC = 0.57 Group B (sliding & fixed): U = 0.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underslab) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rating without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |



1 LOT 2 - ROOF LEVEL
1 : 200

Notes DA:

1. **DESIGN RESOLUTION**

1.1. The drawings represent general architectural intent for the purpose of this development application only.

1.2. The internal layout is shown indicatively and is subject to further design development.

1.3. The dimensions shown are general only and are subject to further design resolution.

1.4. Location of car park entry point is general only and will be confirmed and dimensioned at later stage.

1.5. The size and position of louvre sun screens is indicative and shown in open and closed positions.

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1.7. Landscape component is shown indicatively only and subject to further design development at later stage.

1.8. Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, vents, etc.

2. **GRAPHIC PRESENTATION**

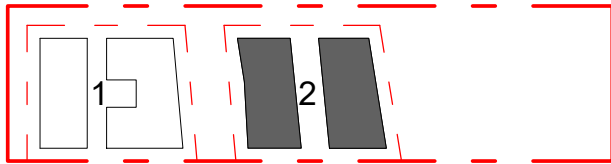
2.1. Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour deviation may also occur in the printing process.

3. **EXISTING STRUCTURES AND SERVICES**

3.1. Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.

3.2. All unchanged site levels are as per the existing survey information.

| 15/01/2019 | 4 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
|------------|-----|-------------------------------------|
| 07/03/2018 | 3 | AMENDMENT FOR COUNCIL REQUIREMENT |
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ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

LOT 2 - ROOF PLAN

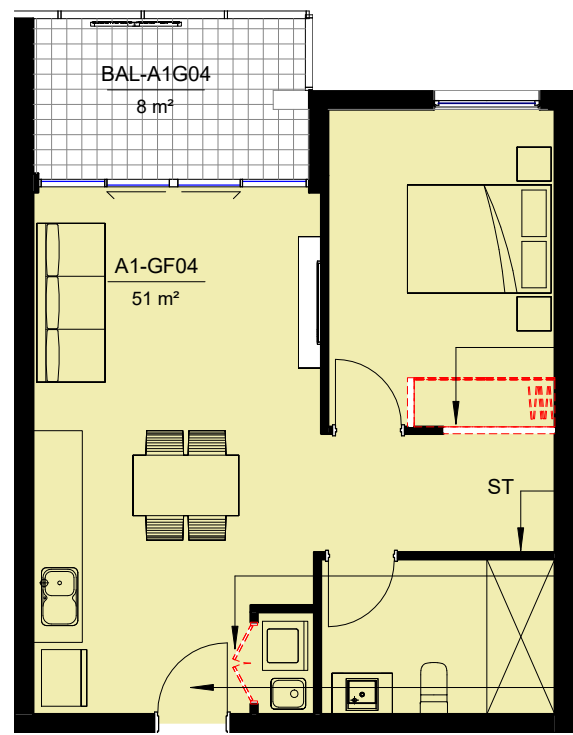
DA SUBMISSION

| | | |
|--------------------------|---------------------|----------------------|
| Scale 1 : 100 0 2 4 6 | | STAGE: DA SUBMISSION |
| | | DATE: 15/01/2019 |
| DRAWING SCALE: 1 : 200 | SHEET SIZE: | A1 |
| PROJECT NO. 17003 | DRAWING NO. A213 | REVISION 4 |

1/02/2019 3:29:09 PM

500mm

400mm



Walls, Robe & Door to be Retrofitted/ Removed New Door Installed with Circulation to Comply with AS 4299 Class C

Bathroom Walls to be Reinforced to Comply with AS 4299 Class C

Laundry Doors to be removed Bifold Doors Fitted for Adaptable Use

Entry Door External Circulation to Comply with AS 4299 Class C

1

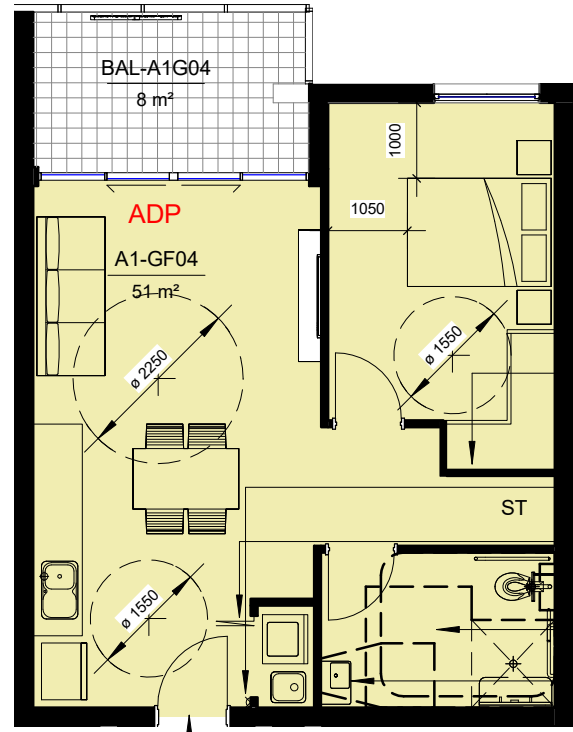
LOT 1 - GROUND FLOOR - ADAPTABLE UNIT TYPE 1

1 : 100

4 Adaptable Units: A1-GF04 / A1-1F04 / A1-2F04 / A1-3F01

300mm

200mm



New Door, Robe & Wall Installed with Circulation to Comply with AS 4299 Class C

Install Automatic Door Opener
Laundry Doors to be removed Bifold Doors Fitted for Adaptable Use

Retrofit Bathroom to Comply with AS 4299 Class C

Capped off Basin Waste

Entry Door External Circulation to Comply with AS 4299 Class C

2

LOT 1 - GROUND FLOOR - ADAPTABLE UNIT TYPE 1 VARIED

1 : 100

100mm

0mm

0mm

100mm

200mm

300mm

400mm

500mm

600mm

700mm

800mm



Entry Door External Circulation to Comply with AS 4299 Class C

Laundry Doors to be removed Bifold Doors Fitted for Adaptable Use

Walls, Robe & Door to be Retrofitted/ Removed New Door Installed with Circulation to Comply with AS 4299 Class C

Bathroom Walls to be Reinforced to Comply with AS 4299 Class C

3

LOT 1 - GROUND FLOOR - ADAPTABLE UNIT TYPE 2

1 : 100

4 Adaptable Units: A1-GF12 / A1-1F12 / A1-2F12 / A1-3F07



Entry Door External Circulation to Comply with AS 4299 Class C

Install Automatic Door Opener

Laundry Doors to be removed Bifold Doors Fitted for Adaptable Use

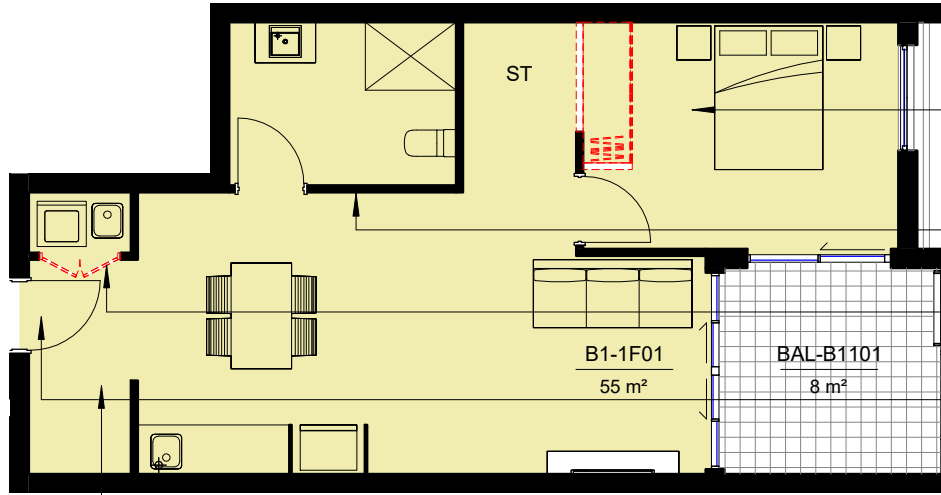
Capped off Basin Waste

Retrofit Bathroom to Comply with AS 4299 Class C

4

LOT 1 - GROUND FLOOR - ADAPTABLE UNIT TYPE 2 VARIED

1 : 100



Walls, Robe & Door to be Retrofitted/ Removed New Door Installed with Circulation to Comply with AS 4299 Class C

Bathroom Walls to be Reinforced to Comply with AS 4299 Class C

Laundry Doors to be removed Bifold Doors Fitted for Adaptable Use

Entry Door External Circulation to Comply with AS 4299 Class C

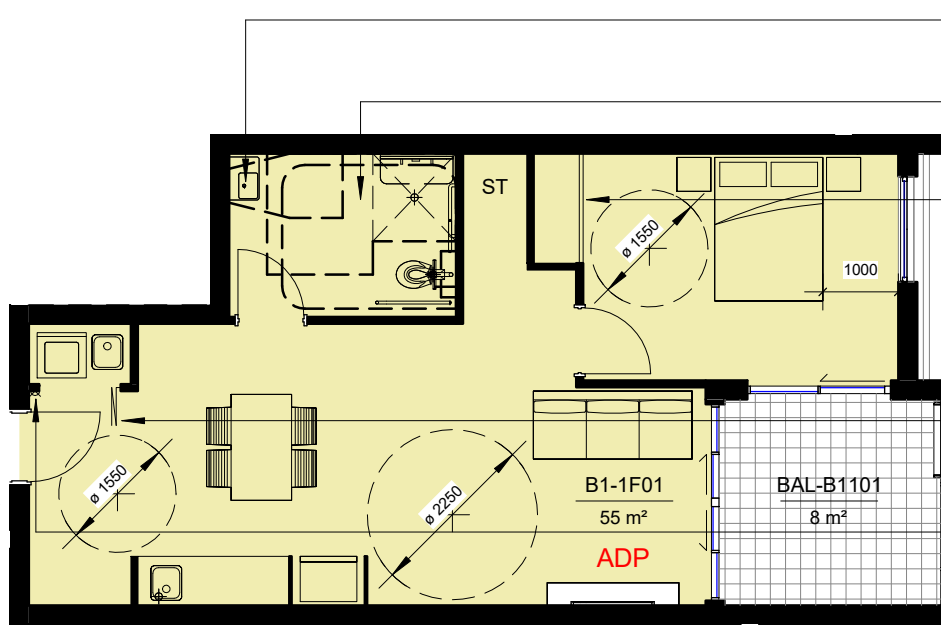
Wall & Door to be removed to Comply with AS 4299 Class C

5

LOT 2 - LEVEL 1- ADAPTABLE UNIT TYPE 1

1 : 100

4 Adaptable Units: B1-GF05 / B1-1F01 / B1-2F01 / B1-3F01



Capped off Basin Waste

Retrofit Bathroom to Comply with AS 4299 Class C

New Door, Robe & Wall Installed with Circulation to Comply with AS 4299 Class C

Laundry Doors to be removed Bifold Doors Fitted for Adaptable Use

Install Automatic Door Opener

Entry Door External Circulation to Comply with AS 4299 Class C

6

LOT 2 - LEVEL 1- ADAPTABLE UNIT TYPE 1 VARIED

1 : 100

Notes DA:

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| Date | Rev | Description |
|------------|-----|--------------|
| 22/06/2017 | 1 | ISSUE FOR DA |

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WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT

**DREAMSCAPES
ARCHITECTS**

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Australia. Singapore. Hong Kong. China

TITLE

ADAPTABLE UNIT VARIATION
PLAN - LOT 1 & 2

DA SUBMISSION

Scale 1 : 100

0 2 4 6

STAGE: DA SUBMISSION

DATE: 22/06/2017

DRAWING SCALE: 1 : 100 SHEET SIZE: A1

PROJECT NO. 17003 SHEET NO. A220 REVISION 1

1/02/2019 3:29:18 PM

- 1. DESIGN REPRESENTATION**
 - The drawings represent general architectural intent for the purpose of this preliminary application only.
 - The internal layout is shown indicatively and is subject to further design development.
 - The dimensions shown are general only and are subject to further design refinement.
 - The location of car park entry point is general only and will be confirmed and detailed at a later stage.
 - The size and position of boulevards shown is indicative and shown in open and detailed drawings.
 - Grading (LL, landscape shown) indicates general ceiling design level only, which does not include any subsurface building or other partial ceiling protection.
 - Whereas component is shown indicatively only and subject to further design development.
 - Detailed location of plant, equipment and services on drawings are general and indicative only and do not include micro elements, such as van pipes, flues, aerals, etc.
- 2. GRAPHIC PRESENTATION**
 - Colours presented on drawings are general only and indicative of the architectural design intention. Some colour designations may occur in the printing process.
- 3. EXISTING STRUCTURES AND SERVICES**
 - Existing and proposed structures and services are according to the available survey information and will need to be verified by a structural surveyor.
 - All unchanged site level data will refer to the existing survey information.



300mm

200mm

1250

Entry Door External Circulation to Comply with AS 4299 Class C

Laundry Doors to be removed Bifold Doors Fitted for Adaptable Use

Capped off Basin Waste

Retrofit Bathroom to Comply with AS 4299 Class C

Install Automatic Door Opener

New Door, Robe & Wall Installed with Circulation to Comply with AS 4299 Class C

51-1F10 50 m²

ADP

ø 1050

ø 1050

2 LOT 2 - LEVEL 1- ADAPTABLE UNIT TYPE 2 VARIED
1 : 100

[illegible]

4 LOT 2 - LEVEL 1- ADAPTABLE UNIT TYPE 3 VARIED
1 : 100



Floor plan details:

- BAL-B2101**: 8 m²
- B2-1F01**: 52 m²
- Dimensions and Clearances**:
 - 1000 (multiple locations)
 - Ø 1000 (multiple circular clearances)
 - Ø 600 (circular clearance near ADP unit)
 - Ø 750 (circular clearance near ADP unit)
- ADP Unit**: Air Distribution Panel located in the central area.
- Room Features**: Includes a kitchen area with cabinets and sink, a bathroom with toilet and shower, and a living area with furniture.

6 LOT 2 - LEVEL 1- ADAPTABLE UNIT TYPE 4 VARIED
1 : 100

WEYAND PTY LTD

RESIDENTIAL DEVELOPMENT

**105 CUDGEGONG
ROAD, ROUSE HILL**



**DREAMSCAPES
ARCHITECTS**

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The Silver Arc Dreamscapes Pty Ltd

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Phone (02) 80688318
Email: info@thearc.com.au
Website: www.thearc.com.au

ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

ADAPTABLE UNIT VARIATION
PLAN - LOT 2

DA SUBMISSION

Scale 1 : 100

| | C | A | T | G |
|--|---|---|---|---|
| | | | | |

STAGE: DA SUBMISS

| | |
|--|--|
| | |
| | |

DATE: 22/06/2017

| | |
|--|--|
| | |
| | |

DRAWING SCALE: 1 : 100 SHEET SIZE:

| | |
|-------------------------------------|-------------|
| ALL DIMENSIONS IN mm (DO NOT SCALE) | |
| SHEET NO. | DRAWING NO. |

| | |
|-------|------|
| 17003 | A221 |
|-------|------|

1/02/2019 3:29:25 PM

800mm

500mm



300mm



100mm



100mm



1. DESIGN RESOLUTION

- 1 The drawings represent general architectural information for the purpose of this development and replication only.
- 2 The internal layout is shown indicatively and is subject to further design resolution.
- 3 The dimensions shown are generally only and are subject to further design resolution.
- 4 Location of car park entry point is general only and will be confirmed and dimensioned at a later stage.
- 5 The size and position of lounge sun screens is indicative and shown in open and closed position.
- 6 Ceiling RL (where shown) indicates general ceiling design level only, which does not include any ceiling elements or ceiling lighting production.
- 7 Landscape component is shown indicatively only and subject to further design resolution.
- 8 Location of plant, equipment and services on drawings is general and indicative only and does not include elements, such as vent pipes, flues, aerials, etc.

2. GRAPHIC PRESENTATION

- 1 Colours presented on drawings are general only and indicative of the architectural design intent. Some colour elements may occur in the printing process.

3. EXISTING STRUCTURES AND SERVICES

Existence and location of existing structures and services are according to the available information and will need to be confirmed on site at all stages.

- 3 All dimensions shown are similar partial architectural information.
- 3 All dimensions shown are similar partial architectural information.

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**105 CUDGEGONG
ROAD, ROUSE HILL**



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ACN 169 027 936

Australia. Singapore. Hong Kong. China

TLE

LOT 1 - SECTION

DA SUBMISSION

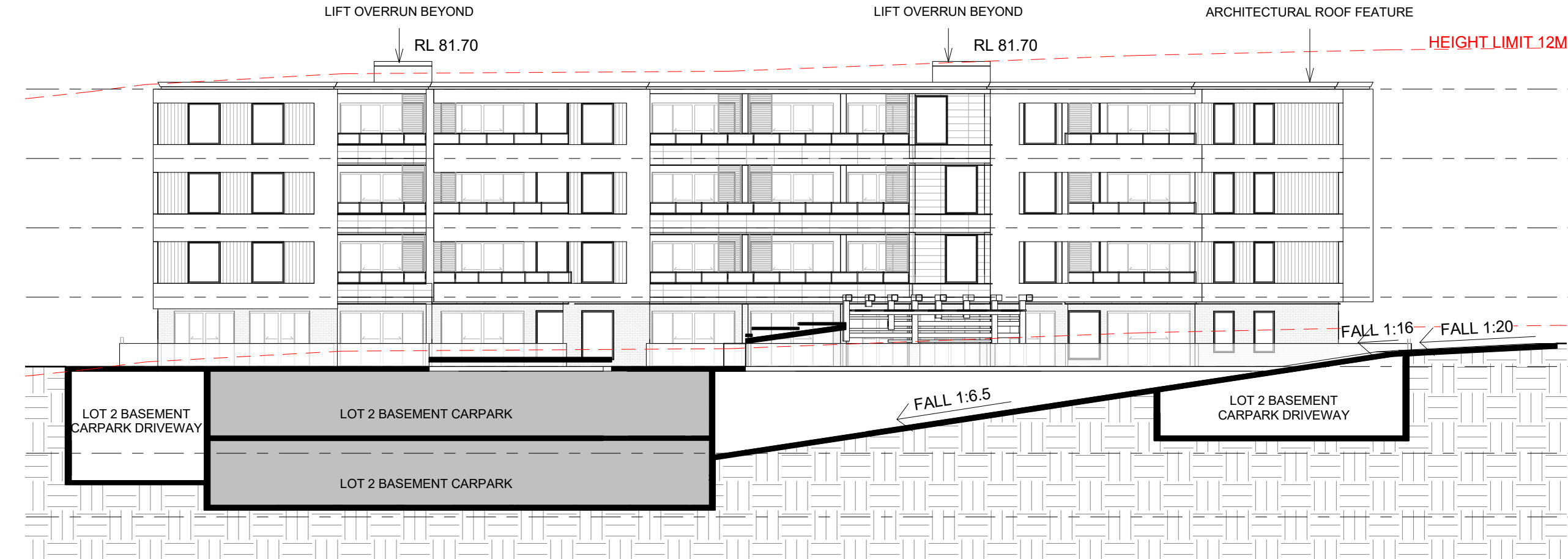
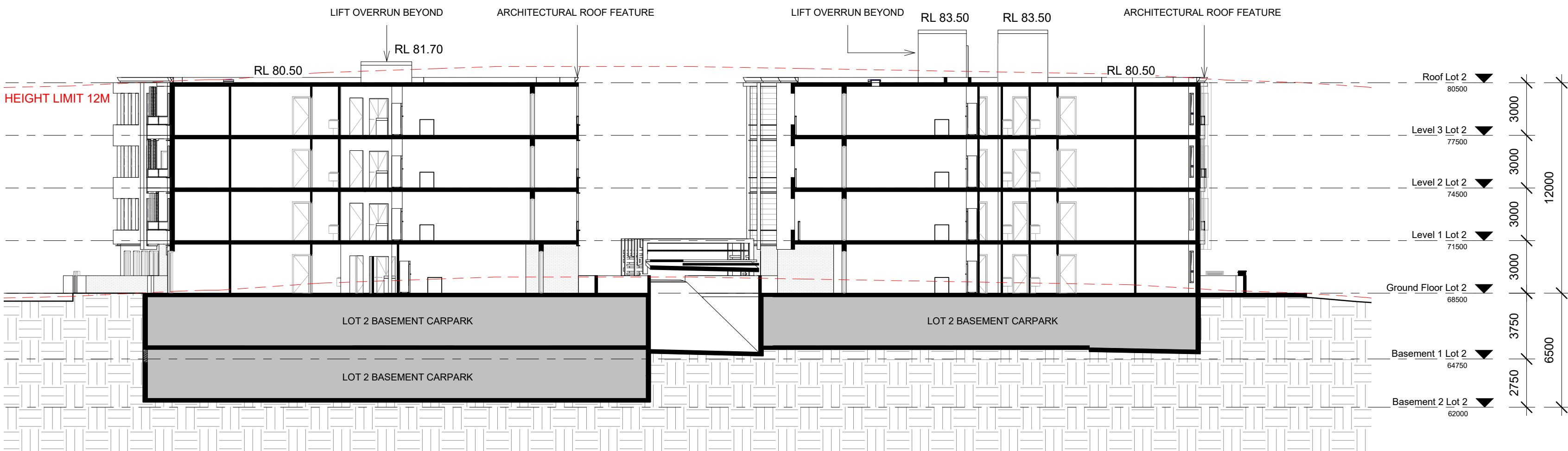


| | | | |
|------------------------------------|-------------|----------------------|--|
| | | STAGE: DA SUBMISSION | |
| | | DATE: 22/06/2017 | |
| DRAWING SCALE: 1 : 200 | | SHEET SIZE: A1 | |
| ALL DIMENSIONS IN mm. DO NOT SCALE | | | |
| PROJECT NO. | DRAWING NO. | REVISION | |
| 17003 | A310 | 1 | |

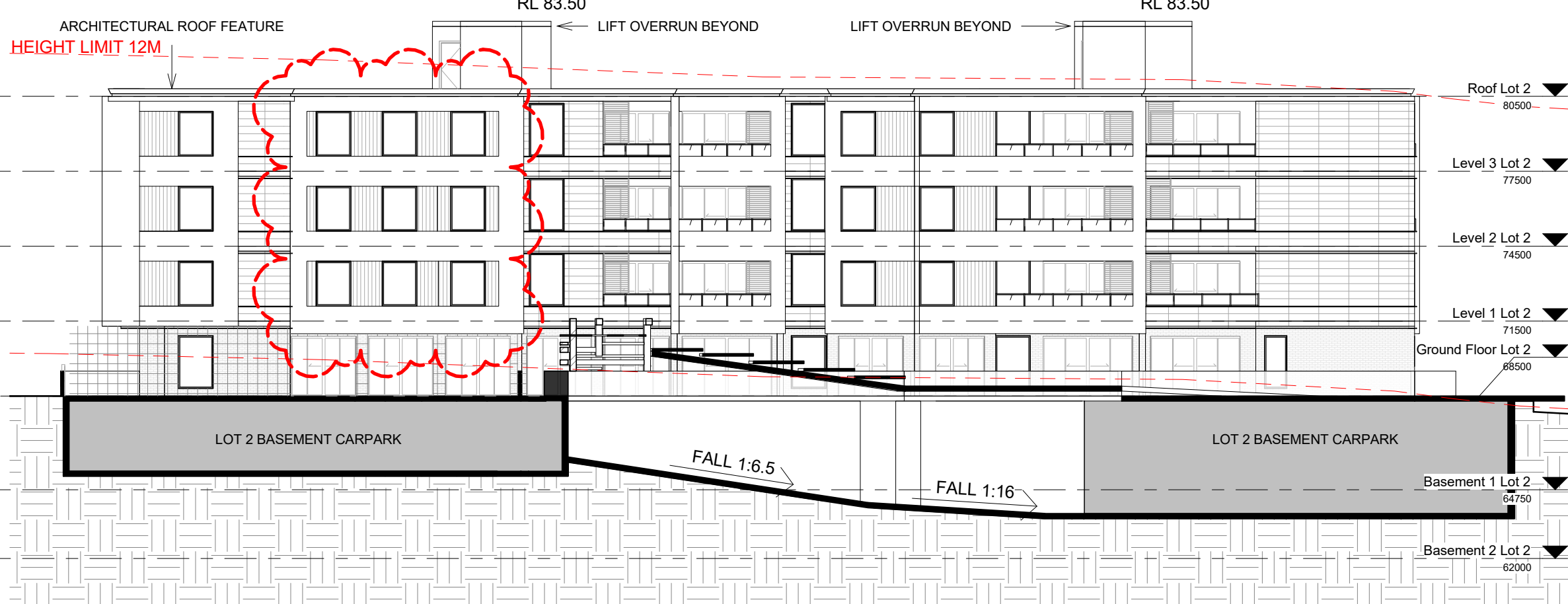
1/02/2019 3:29:47 PM

| Element | Material Type | Detail |
|------------------|---|---|
| Roof | Concrete roof + R3.0 | Light colour. This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hebel panel wall + R1.5 insulation | Medium colour |
| Internal walls | Hebel panel wall + R1.5 insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear | NFRC Glazing System (Glass+Frame) values: Group A (swinging) U = 6.7 and SHGC = 0.57 Group B (sliding & fixed) U = 6.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Stylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underslab) | Where exposed to outdoor air or above basement car park |
| Floor coverings | | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rating without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |

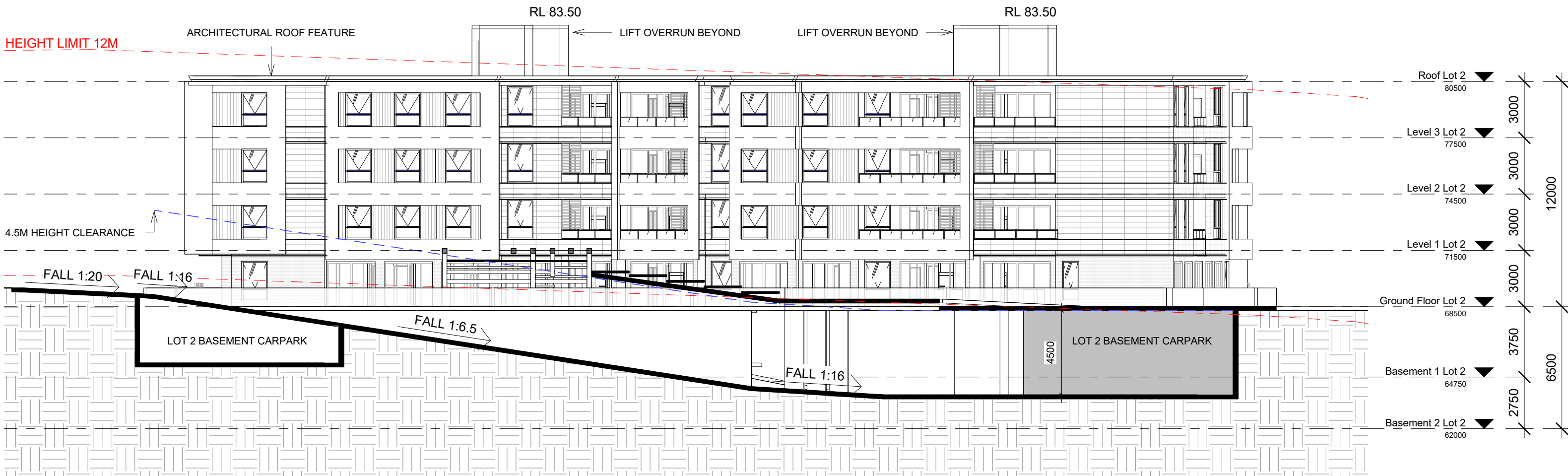
1 LOT 2 - SECTION 1
1 : 200



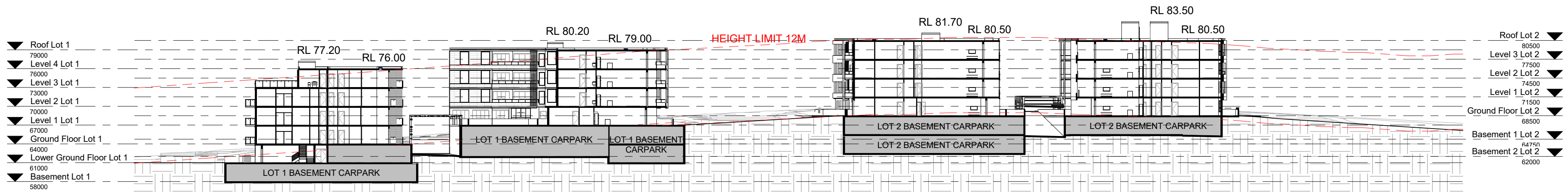
2 LOT 2 - SECTION 2
1 : 200



3 LOT 2 - SECTION 3
1 : 200



4 LOT 2 - SECTION 4
1 : 200



5 LONGITUDINAL SECTION
1 : 500

| Notes DA: |
|--|
| 1. DESIGN RESOLUTION |
| 1.1. The drawings represent general architectural intent for the purpose of this development application only. |
| 1.2. The internal layout is shown indicatively and is subject to further design development. |
| 1.3. The dimensions shown are general only and are subject to further design resolution. |
| 1.4. Location of car park entry point is general only and will be confirmed and dimensioned at later stage. |
| 1.5. The size and position of louvre sun screens is indicative and shown in open and closed positions. |
| 1.6. Ceiling RL (where shown) indicates general ceiling design level only, which does account for services bulkheads or similar partial ceiling protrusions. |
| 1.7. Landscape component is shown indicatively only and subject to further design development at later stage. |
| 1.8. Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc. |
| 2. GRAPHIC PRESENTATION |
| 2.1. Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour deviation may also occur in the printing process. |
| 3. EXISTING STRUCTURES AND SERVICES |
| 3.1. Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage. |
| 3.2. All unchanged site levels are as per the existing survey information. |

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL DEVELOPMENT

105 CUDGEGONG ROAD, ROUSE HILL

ARCHITECT

DREAMSCAPES ARCHITECTS

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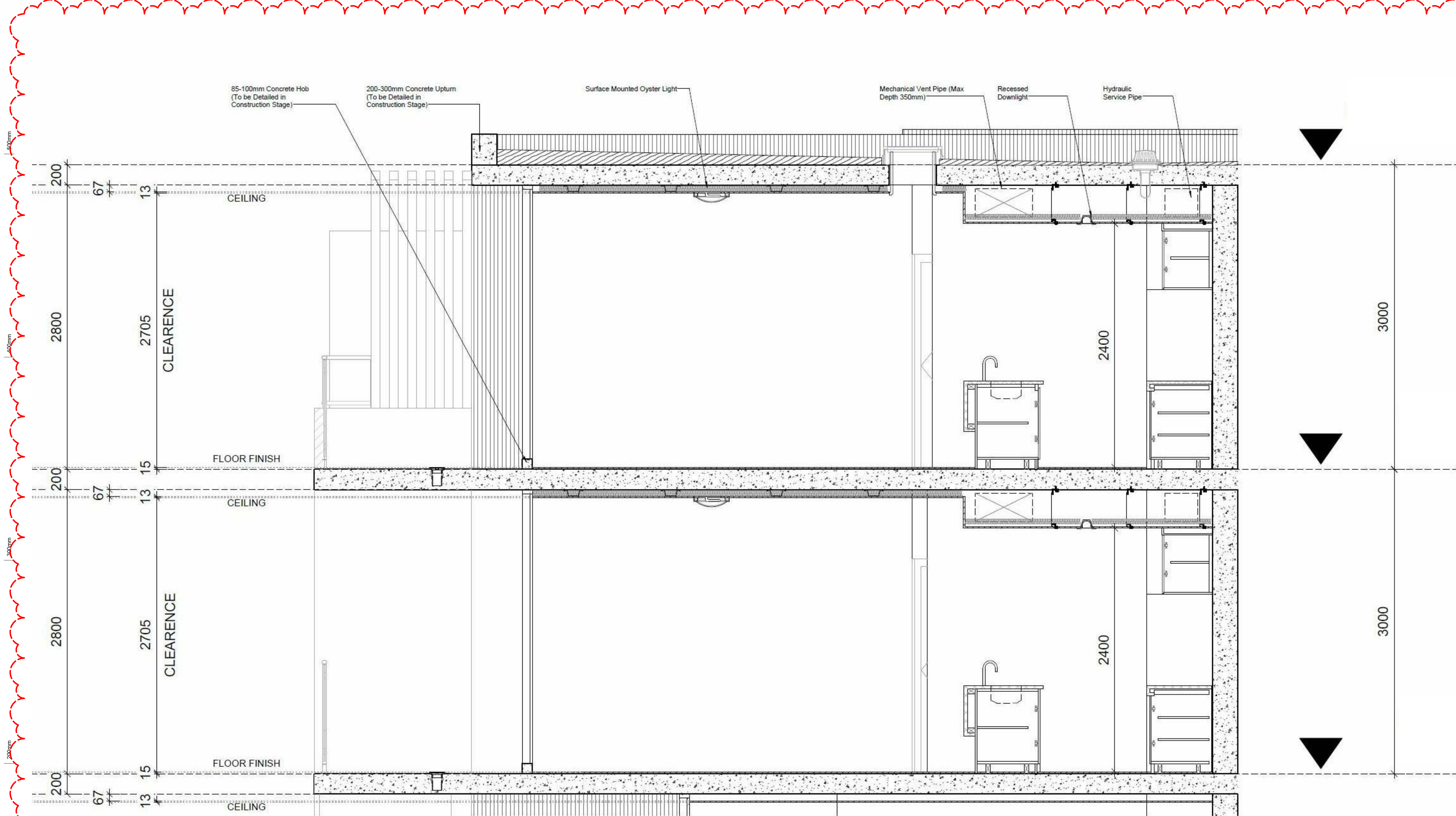
The Silver Arc Dreamscapes Pty Ltd

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Phone: (02) 80686316
Email: info@thearc.com.au
Website: www.thearc.com.au

ACN 169 027 936

Australia, Singapore, Hong Kong, China

| TITLE |
|--------------------------------|
| LOT 2 & LONGITUDINAL - SECTION |
| DA SUBMISSION |
| Scale 1: 100 |
| STAGE: DA SUBMISSION |
| DATE: 15/01/2019 |
| DRAWING SCALE: As indicated |
| SHEET SIZE: A1 |
| PROJECT NO. 17003 |
| DRAWING NO. A311 |
| REVISION 2 |



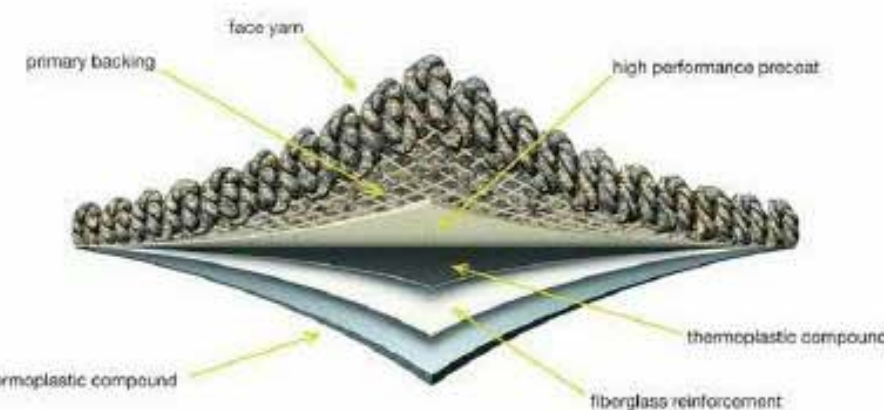
1 FLOOR HEIGHT CLEARANCE
1 : 20



KITCHEN LIGHT
113MM *60MM
RECESSED DOWN
LIGHT (TO BE
SPECIFIED IN CC
STAGE)



**LIVING AREA
LIGHT**
350MM SURFACE
MOUNTED
OYSTER LIGHT
(TO BE SPECIFIED
IN CC STAGE)



FLOOR FINISH
8MM-15MM
CARPET (TO BE
SPECIFIED IN CC
STAGE)



CEILING FINISH
10MM
PLASTERBOARD
(TO BE SPECIFIED
IN CC STAGE)

Notes DA:
1. **DESIGN RESOLUTION**
1.1. The drawings represent general architectural intent for the purpose of this development application only.
1.2. The internal layout is shown indicatively and is subject to further design development.
1.3. The dimensions shown are general only and are subject to further design resolution.
1.4. Location of car park entry point is general only and will be confirmed and dimensioned at later stage.
1.5. The size and position of louvre sun screens is indicative and shown in open and closed positions.
1.6. Ceiling RL (where shown) indicates general ceiling design level only, which does account for services bulkheads or similar partial ceiling protrusions.
1.7. Landscape component is shown indicatively only and subject to further design development at later stage.
1.8. Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, vents, etc.
2. **GRAPHIC PRESENTATION**
2.1. Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour variation may also occur in the printing process.
3. **EXISTING STRUCTURES AND SERVICES**
3.1. Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.
3.2. All unchanged site levels are as per the existing survey information.

| Date | Rev | Description |
|------------|-----|-------------------------------------|
| 15/01/2019 | 1 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |

CLIENT

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PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



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ACN 169 027 936

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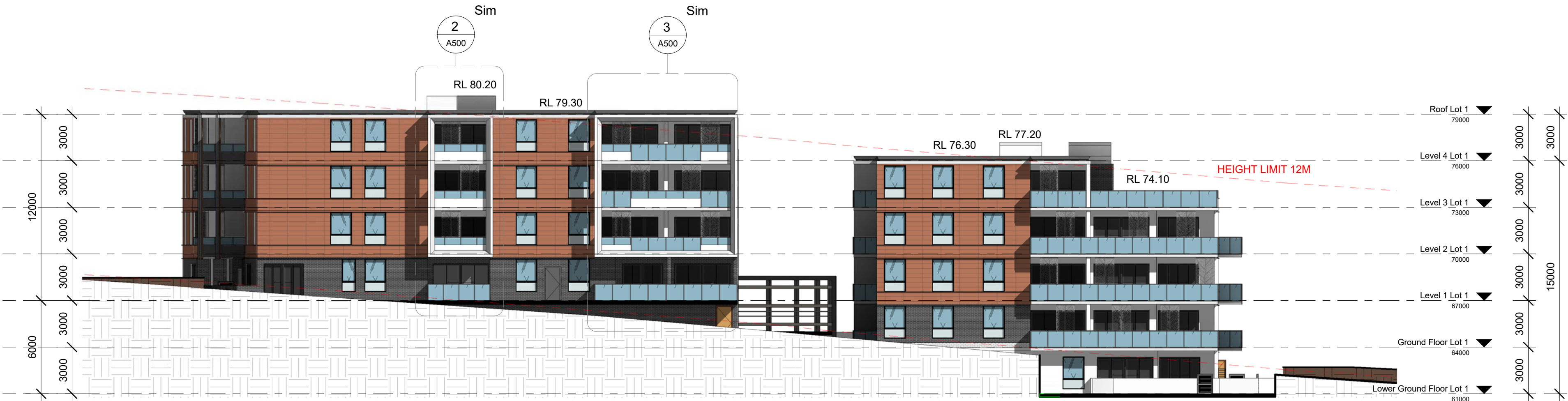
TITLE
FLOOR HEIGHT CLEARANCE -
SECTION

DA SUBMISSION

| | | |
|----------------------|------------------|------------|
| Scale 1 : 100 | | |
| 0 2 4 6 | | |
| STAGE: DA SUBMISSION | | |
| DATE: 15/01/2019 | | |
| DRAWING SCALE: 1 : 1 | SHEET SIZE: A1 | |
| PROJECT NO. 17003 | DRAWING NO. A312 | REVISION 1 |

1/02/2019 3:30:20 PM

| Element | Material Type | Detail |
|------------------|---|---|
| Roof | Concrete roof + R3.0 | Light colour. This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hebel panel wall + R1.5 Insulation | Medium colour |
| Internal walls | Hebel panel wall + R1.5 Insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear | NFRC Glazing System (Glass+Frame) values: Group A (awning) U = 6.7 and SHGC = 0.57 Group B (sliding & fixed) U = 6.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground | As per plan, no insulation required |
| | Suspended concrete floors + R1.5 insulation (underslab) | Where exposed to outdoor air or above basement car park |
| | Floor coverings | Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rating without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |



LOT 1 NORTH ELEVATION

1 : 200



LOT 1 SOUTH ELEVATION

1 : 200



LOT 1 WEST ELEVATION

1 : 200



LOT 1 EAST ELEVATION

1 : 200

Notes DA:

1. DESIGN RESOLUTION

1.1. The drawings represent general architectural intent for the purpose of this development application only.

1.2. The internal layout is shown indicatively and is subject to further design development.

1.3. The dimensions shown are general only and are subject to further design resolution.

1.4. Location of car park entry point is general only and will be confirmed and dimensioned at later stage.

1.5. The size and position of louvre sun screens is indicative and shown in open and closed positions.

1.6. Ceiling RL (where shown) indicates general ceiling design level only, which does account for services bulkheads or similar partial ceiling provisions.

1.7. Landscape component is shown indicatively only and subject to further design development at later stage.

1.8. Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.

2. GRAPHIC PRESENTATION

2.1. Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour deviation may also occur in the printing process.

3. EXISTING STRUCTURES AND SERVICES

3.1. Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.

3.2. All unchanged site levels are as per the existing survey information.

| 22/06/2017 1 ISSUE FOR DA | | |
|---------------------------|-----|-------------|
| Date | Rev | Description |
| | | |

CLIENT

WEYAND PTY LTD

PROJECT

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105 CUDGEGONG
ROAD, ROUSE HILL

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ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

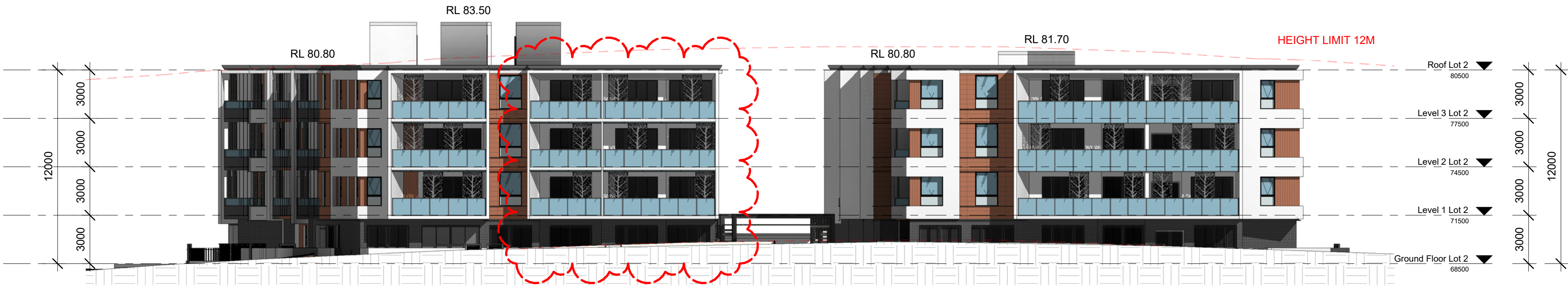
LOT 1 - ELEVATION

DA SUBMISSION

| | | |
|------------------------|-------------|----------|
| Scale 1 : 100 | | |
| 0 2 4 6 | | |
| STAGE: DA SUBMISSION | | |
| DATE: 22/06/2017 | | |
| DRAWING SCALE: 1 : 200 | SHEET SIZE: | A1 |
| PROJECT NO. | DRAWING NO. | REVISION |
| 17003 | A320 | 1 |

1/02/2019 3:31:24 PM

| Element | Material Type | Detail |
|------------------|---|---|
| Roof | Concrete roof + R3.0 | Light colour. This includes the building roofs and the concrete floors of those balconies where immediately above the internal spaces of the apartments below |
| External Ceiling | Plasterboard | Throughout |
| External walls | Hebel panel wall + R1.5 Insulation | Medium colour |
| Internal walls | Hebel panel wall + R1.5 Insulation on one side | Common walls between apartments, common corridors and fire stairs |
| | Plasterboard on studs, no insulation | Internal walls within each apartment |
| Windows | Aluminium frame, single glazed, clear Throughout | NFRC Glazing System (Glass+Frame) values: Group A (swinging) U = 6.7 and SHGC = 0.57 Group B (sliding & fixed) U = 6.7 and SHGC = 0.7 Weather stripping fitted on windows |
| Skylights | Single glazed, clear | As per plan |
| Floors | Concrete slab on ground Suspended concrete floors + R1.5 insulation (underslab) Floor coverings | As per plan, no insulation required Where exposed to outdoor air or above basement car park Living, Kitchen & Bedroom: carpet; Bath: tile |
| Downlights | All LED downlights assumed | Rating without downlights as no lighting layout design is available at the time of assessment. This should be reassessed when the lighting layout information is available prior to the lodgement for the construction certificate. |
| Exhaust fans | Sealed | Applied to all wet areas as per plans |



1 LOT 2 NORTH ELEVATION
1 : 200



2 LOT 2 SOUTH ELEVATION
1 : 200



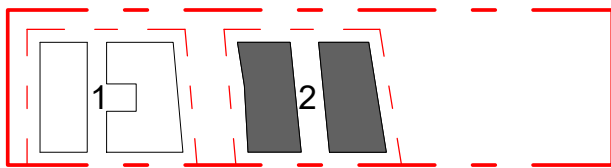
3 LOT 2 WEST ELEVATION
1 : 200



4 LOT 2 EAST ELEVATION
1 : 200

| Notes DA: |
|--|
| 1. DESIGN RESOLUTION 1.1. The drawings represent general architectural intent for the purpose of this development application only. 1.2. The internal layout is shown indicatively and is subject to further design development. 1.3. The dimensions shown are general only and are subject to further design resolution. 1.4. Location of car park entry point is general only and will be confirmed and dimensioned at later stage. 1.5. The size and position of louvre sun screens is indicative and shown in open and closed positions. 1.6. Ceiling RL (where shown) indicates general ceiling design level only, which does account for services bulkheads or similar partial ceiling protrusions. 1.7. Landscape component is shown indicatively only and subject to further design development at later stage. 1.8. Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc. |
| 2. GRAPHIC PRESENTATION 2.1. Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour deviation may also occur in the printing process. |
| 3. EXISTING STRUCTURES AND SERVICES 3.1. Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage. 3.2. All unchanged site levels are as per the existing survey information. |

| 15/01/2019 | 2 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
|------------|-----|-------------------------------------|
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |



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RESIDENTIAL
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105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



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Website: www.thearc.com.au

ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

LOT 2 - ELEVATION

DA SUBMISSION

Scale 1 : 100
0 2 4 6

| | | |
|-------------------------------------|----------------------|----------|
| | STAGE: DA SUBMISSION | |
| | DATE: 15/01/2019 | |
| DRAWING SCALE: 1 : 200 | SHEET SIZE: A1 | |
| ALL DIMENSIONS IN mm - DO NOT SCALE | DRAWING NO. | REVISION |
| PROJECT NO. | | |
| 17003 | A321 | 2 |

1/02/2019 3:32:15 PM

500mm

400mm

300mm



1 SHADOW DIAGRAM 9AM
1 : 1000 Mid Winter

200mm

100mm



3 SHADOW DIAGRAM 11AM
1 : 1000 Mid Winter

0mm
0mm

100mm

200mm

300mm

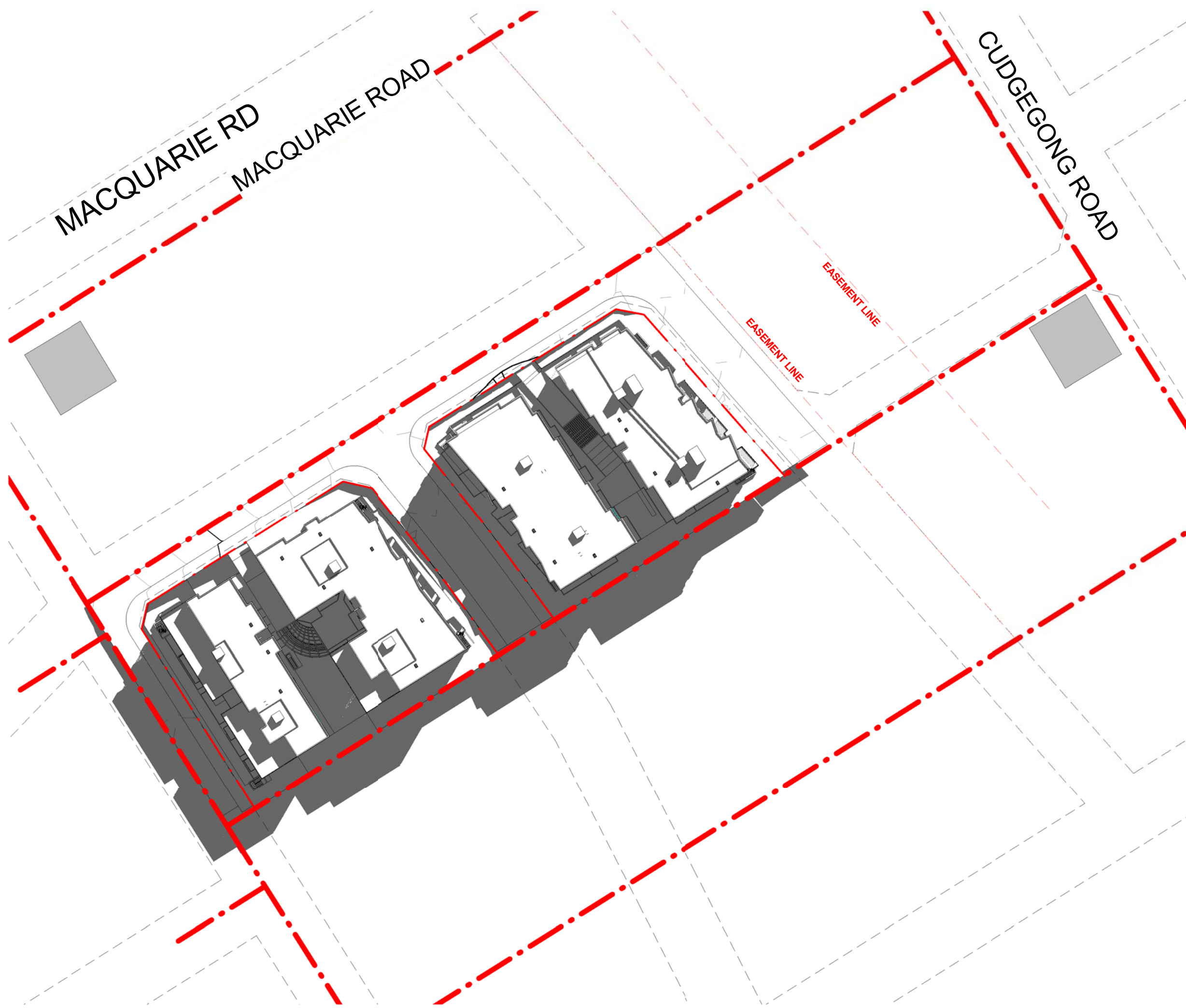
400mm

500mm

600mm

700mm

800mm



2 SHADOW DIAGRAM 10AM
1 : 1000 Mid Winter

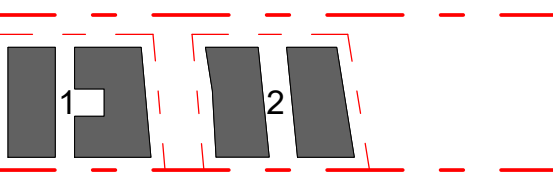


4 SHADOW DIAGRAM 12PM
1 : 1000 Mid Winter

Notes DA:

1. DESIGN RESOLUTION
1.1. The drawings represent general architectural intent for the purpose of this development application only.
1.2. The internal layout is shown indicatively and is subject to further design development.
1.3. The dimensions shown are general only and are subject to further design resolution.
1.4. Location of car park entry point is general only and will be confirmed and dimensioned at later stage.
1.5. The size and position of house sun screens is indicative and shown in open and closed positions.
1.6. Ceiling RL (where shown) indicates general ceiling design level only, which does account for services bulkheads or similar partial ceiling protrusions.
1.7. Landscape component is shown indicatively only and subject to further design development of later stage.
1.8. Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.
2. GRAPHIC PRESENTATION
2.1. Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour distortion may also occur in the printing process.
3. EXISTING STRUCTURES AND SERVICES
3.1. Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.
3.2. All unchanged site levels are as per the existing survey information.

| Date | Rev | Description |
|------|-----|-------------|
|------|-----|-------------|



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WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGONG
ROAD, ROUSE HILL

ARCHITECT



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ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

OVERALL SHADOW DIAGRAM 1

DA SUBMISSION

Scale 1 : 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 22/06/2017

DRAWING SCALE: 1 : 1000

SHEET SIZE:

A1

PROJECT NO:

17003

DRAWING NO:

A400

REVISION

1

1/02/2019 3:32:59 PM

500mm

400mm

300mm

200mm

100mm

0mm
0mm

100mm

200mm

300mm

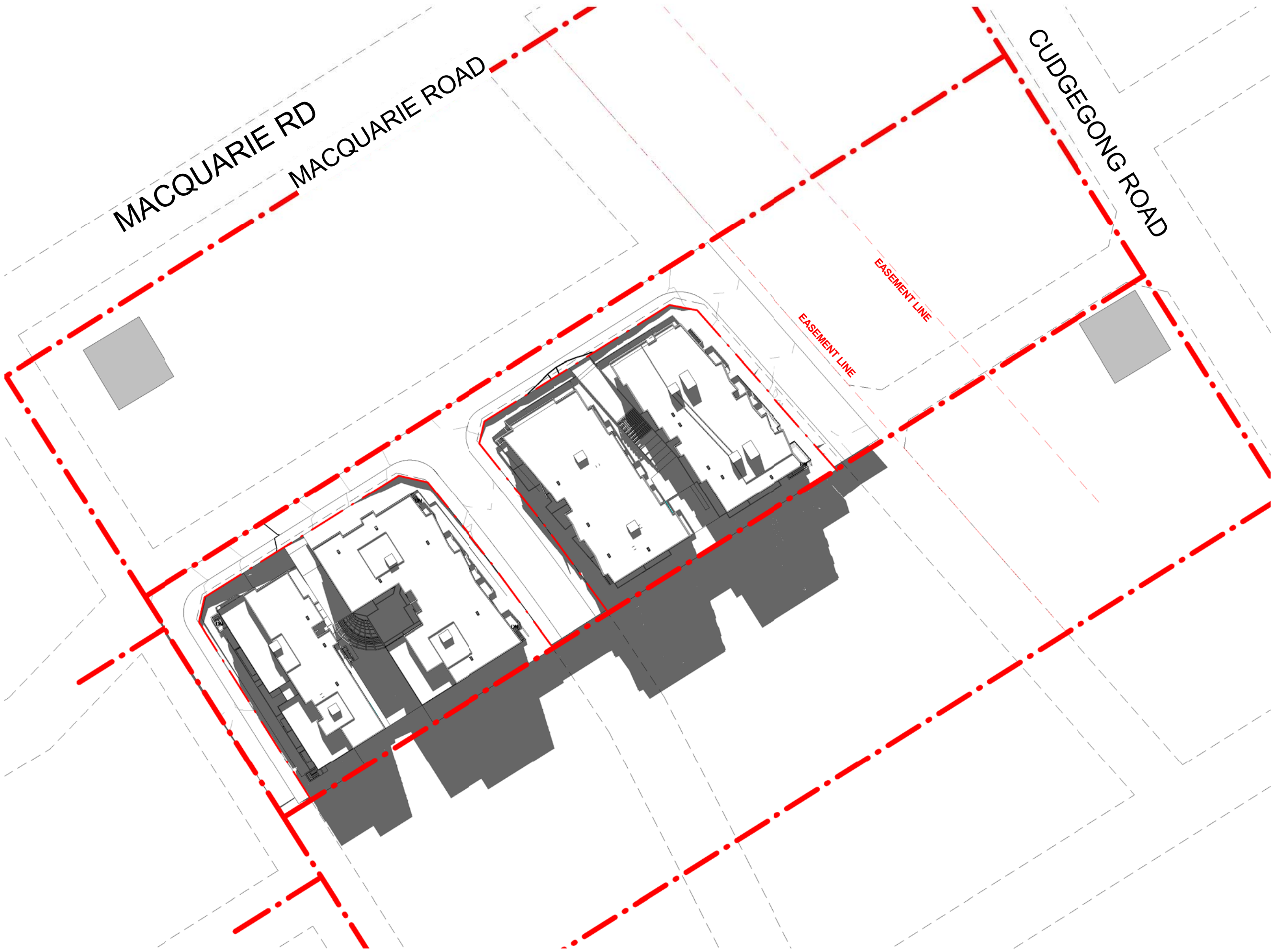
400mm

500mm

600mm

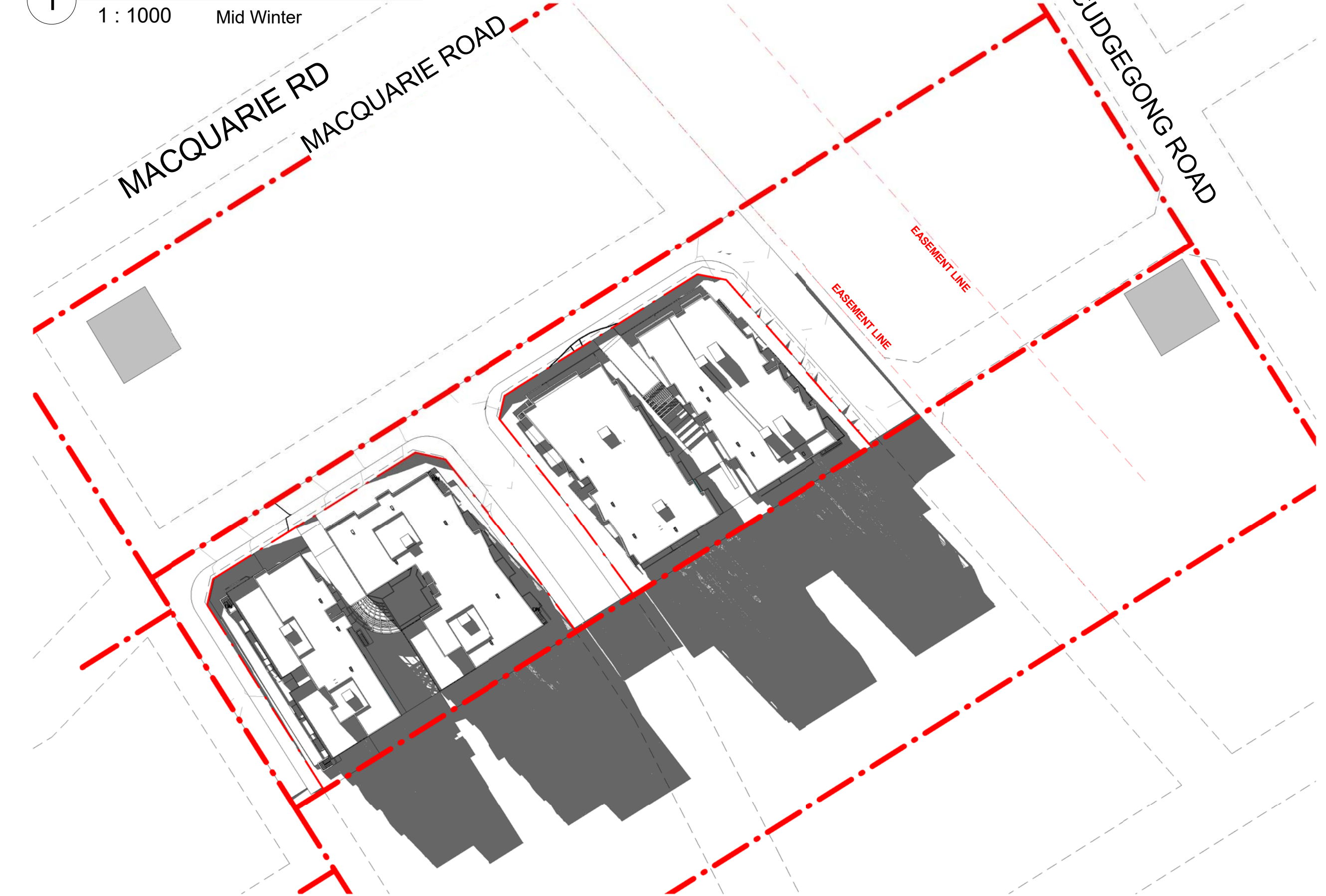
700mm

800mm



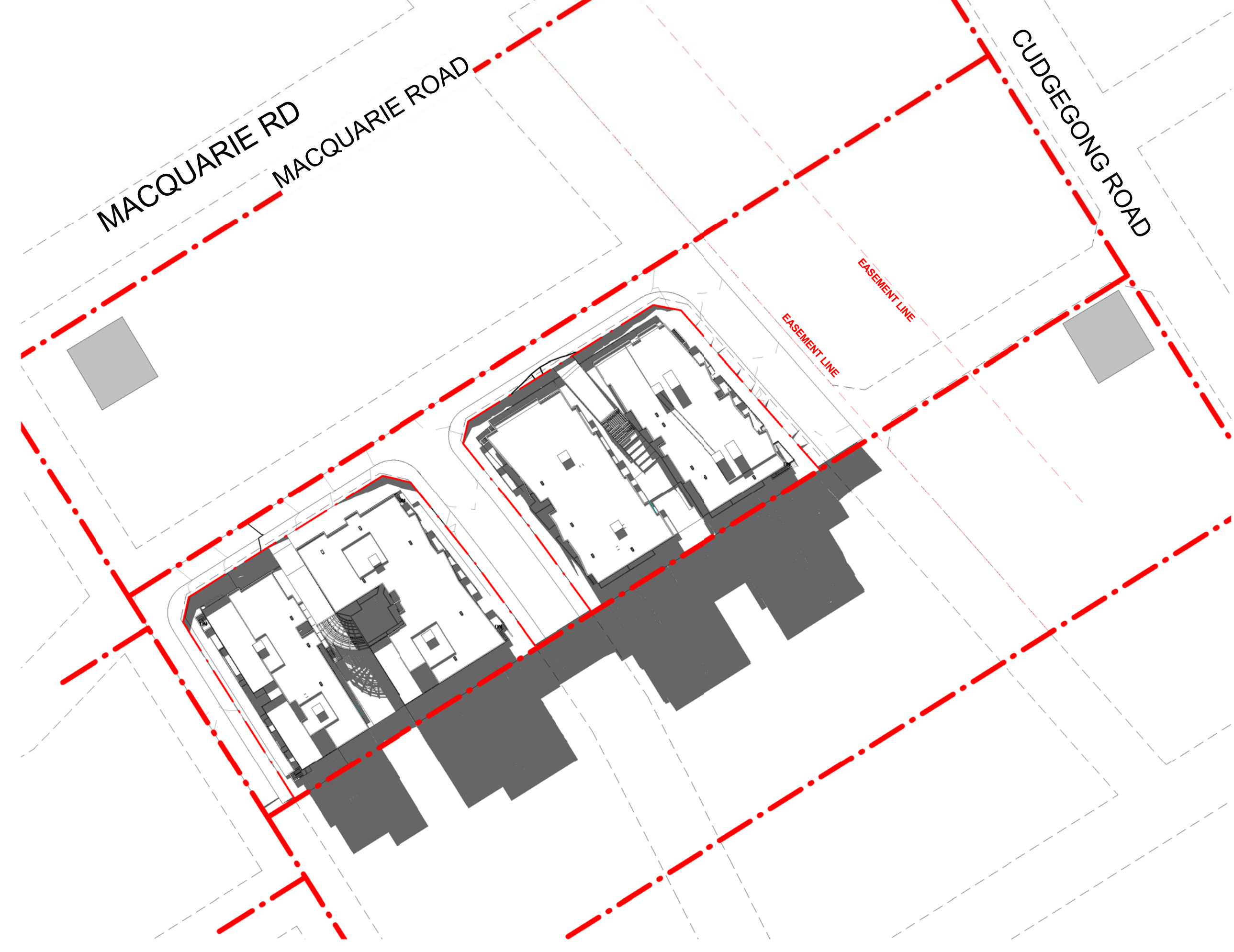
1 SHADOW DIAGRAM 1PM

1 : 1000 Mid Winter



3 SHADOW DIAGRAM 3PM

1 : 1000 Mid Winter



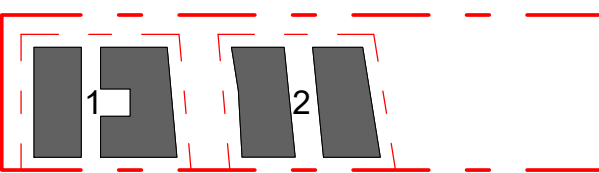
2 SHADOW DIAGRAM 2PM

1 : 1000 Mid Winter

Notes DA:

- DESIGN RESOLUTION
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| Date | Rev | Description |
|------|-----|-------------|
|------|-----|-------------|



CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



Planning . Architecture . Interior . Landscapes
The Silver Arc Dreamscapes Pty Ltd

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Phone (02) 80686310
Email: info@thearc.com.au
Website: www.thearc.com.au

ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

OVERALL SHADOW DIAGRAM 2

DA SUBMISSION

Scale 1 : 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 22/06/2017

DRAWING SCALE: 1 : 1000

SHEET SIZE:

A1

PROJECT NO:

17003

DRAWING NO:

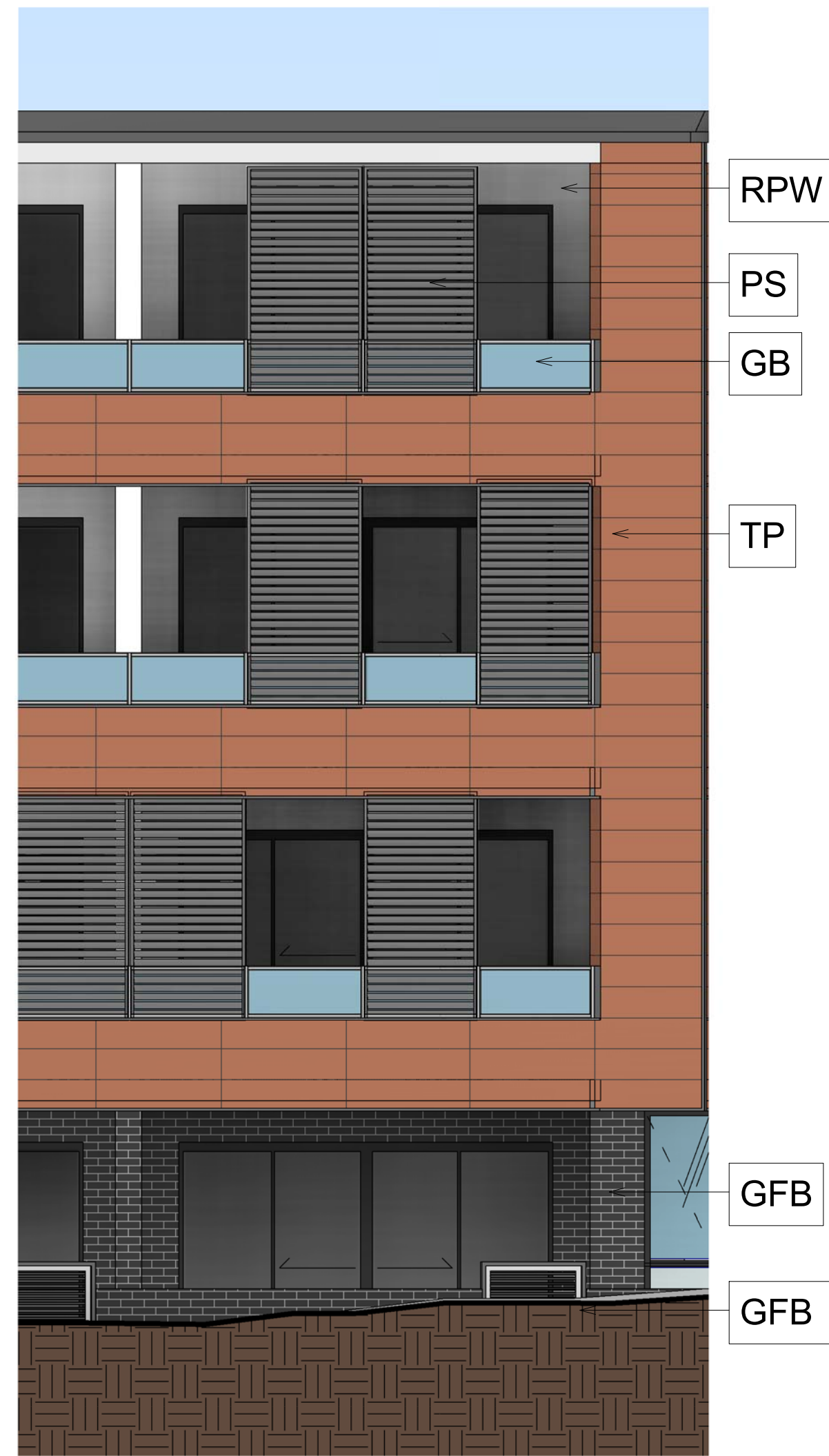
A401

REVISION

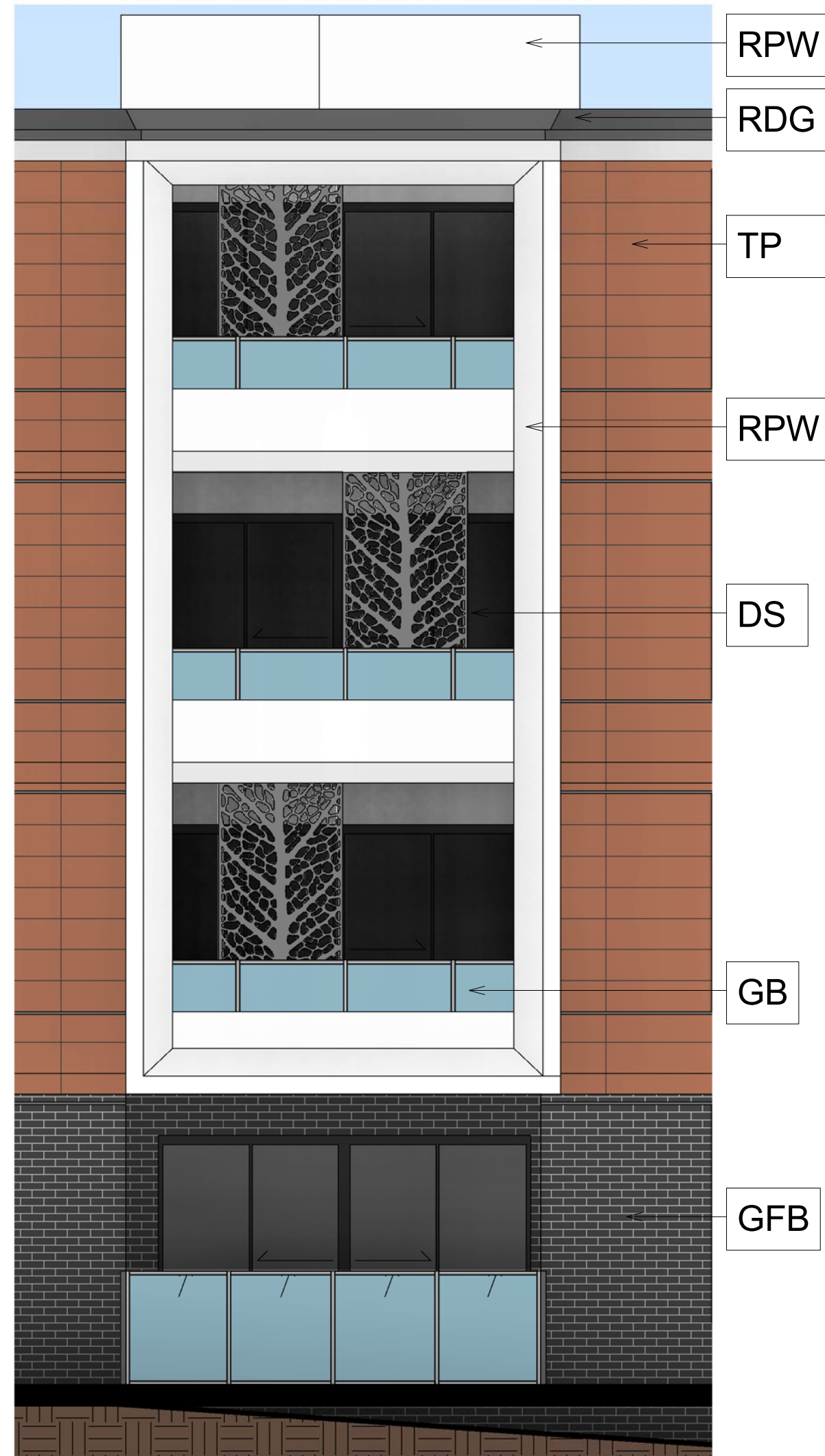
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1/02/2019 3:33:34 PM

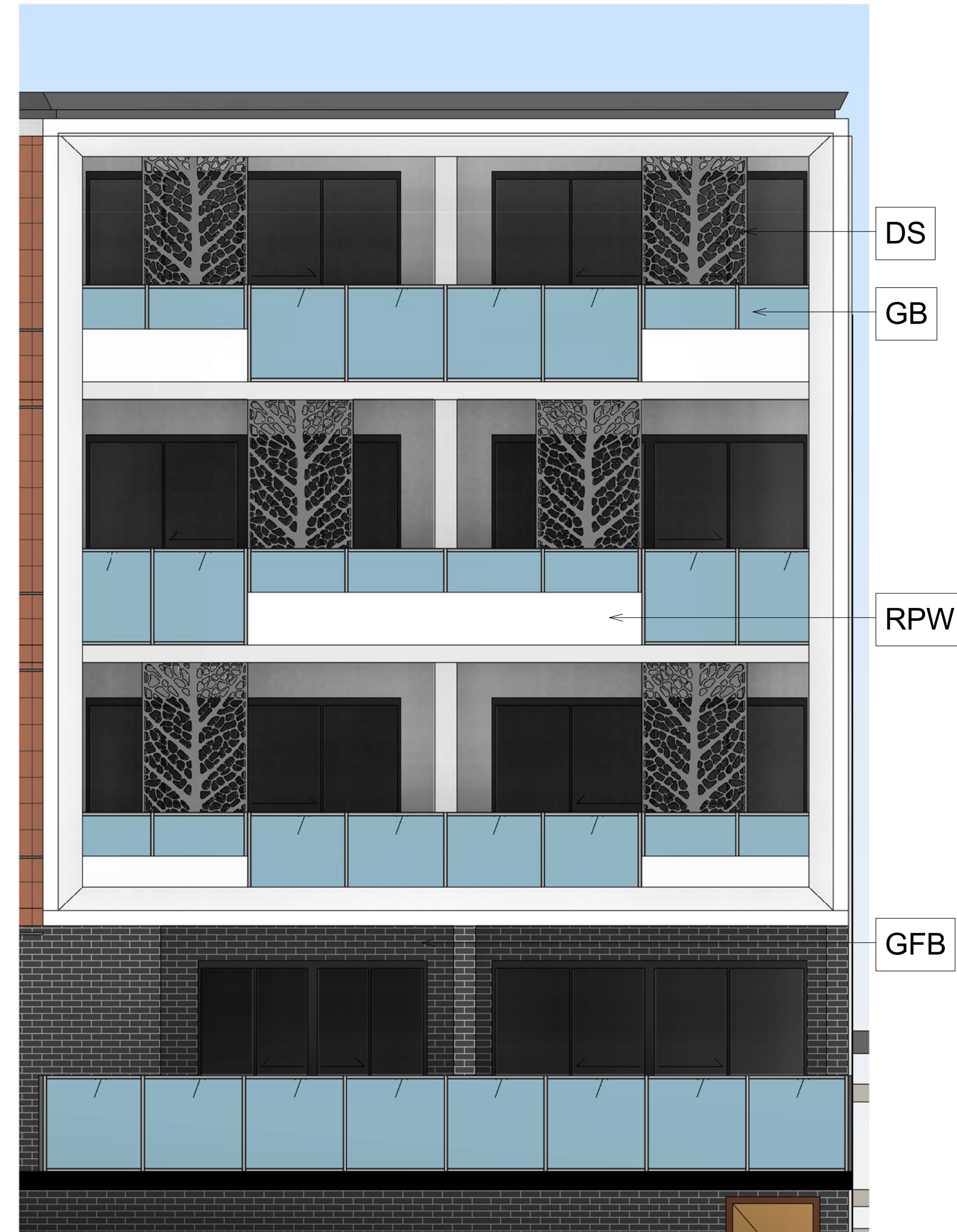
BUILDING ELEVATION



1 LOT 1 EAST ELEVATION - Callout 1
1 : 50



2 LOT 1 NORTH ELEVATION - Callout 1
1 : 50



3 LOT 1 NORTH ELEVATION - Callout 2
1 : 50

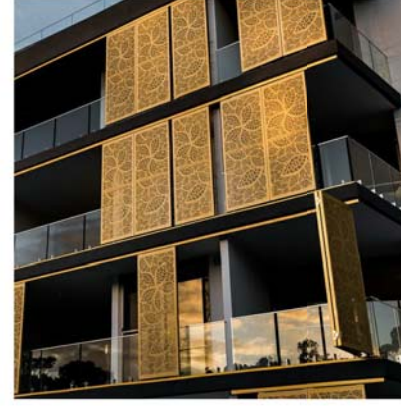
MATERIAL BOARD SAMPLES



TP
TERRACOTTA
PANEL



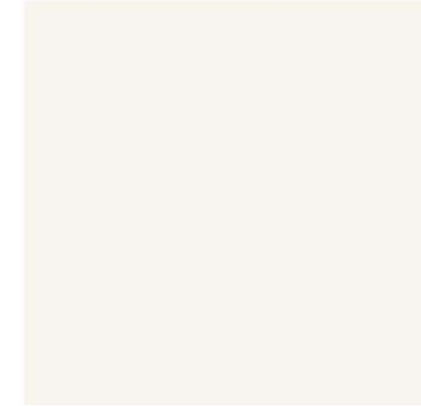
GB
GLASS
BALUSTRADE



DS
DECORATIVE
SCREEN



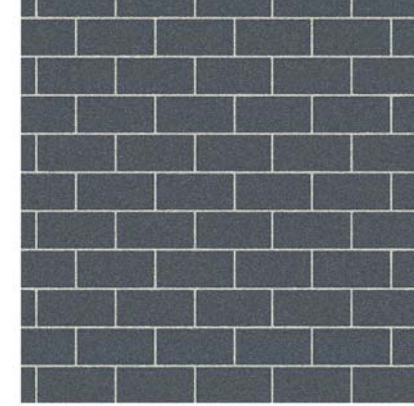
RDG
RENDER -
DARK GREY



RPW
RENDER -
PEARL WHITE



PS
PRIVACY
SCREEN



GFB
DARK GREY
FACE BRICK

FINISH

| | |
|-----|----------------------|
| TP | TERRACOTTA PANEL |
| GB | GLASS BALUSTRADE |
| DS | DECORATIVE SCREEN |
| RDG | RENDER - DARK GREY |
| RPW | RENDER - PEARL WHITE |
| PS | PRIVACY SCREEN |
| GFB | DARK GREY FACE BRICK |

Notes DA:

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|------------|-----|--------------|
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |

CLIENT

WEYAND PTY LTD

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RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

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Website: www.thearc.com.au

ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

MATERIALS & FINISHES

DA SUBMISSION

Scale 1 : 100
0 2 4 6

| | | |
|-----------------------|------------------|------------|
| STAGE: DA SUBMISSION | | |
| DATE: 22/06/2017 | | |
| DRAWING SCALE: 1 : 50 | SHEET SIZE: | A1 |
| PROJECT NO. 17003 | DRAWING NO. A500 | REVISION 1 |

1/02/2019 3:33:49 PM

500mm

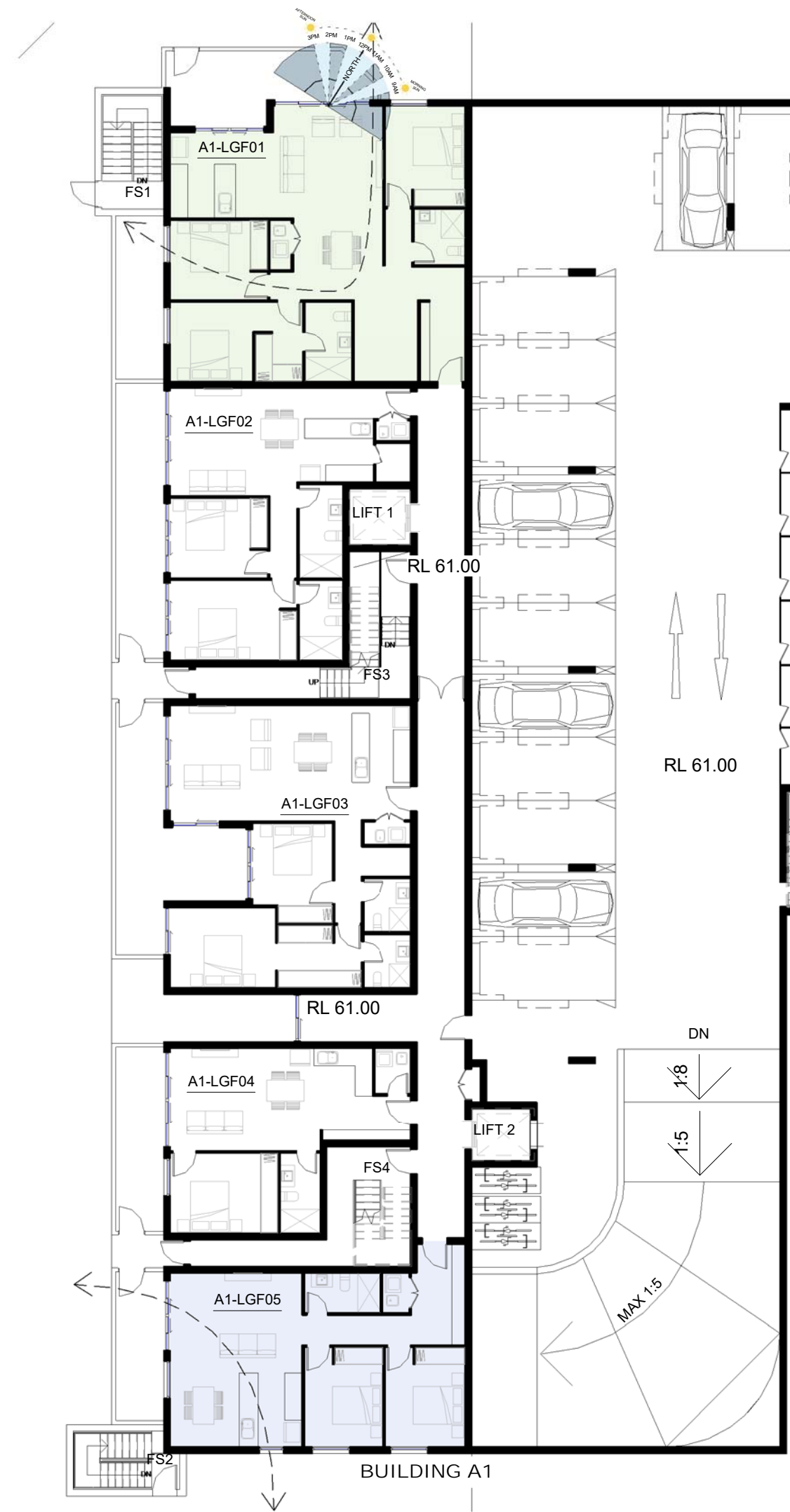
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300mm

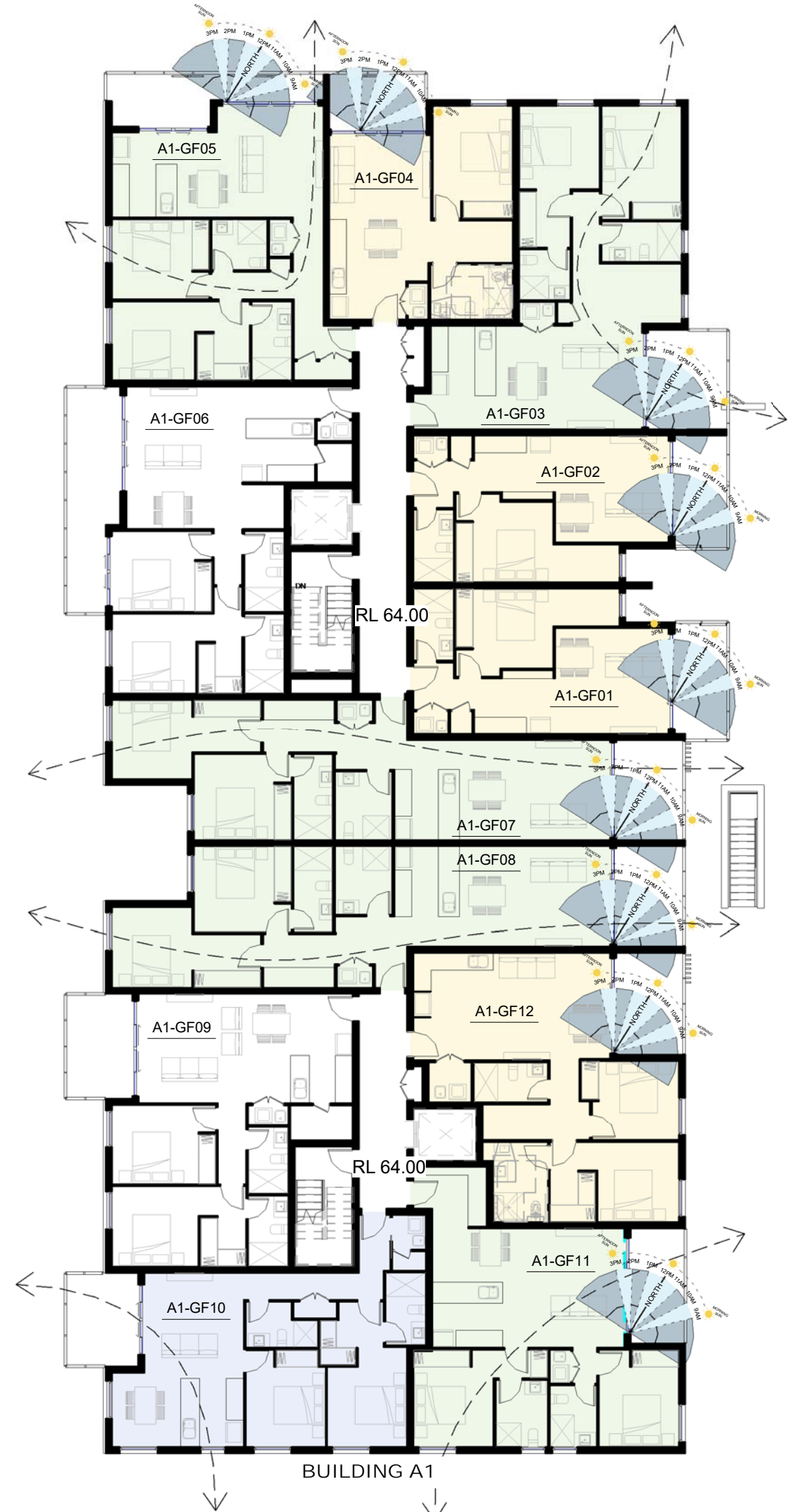
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100mm

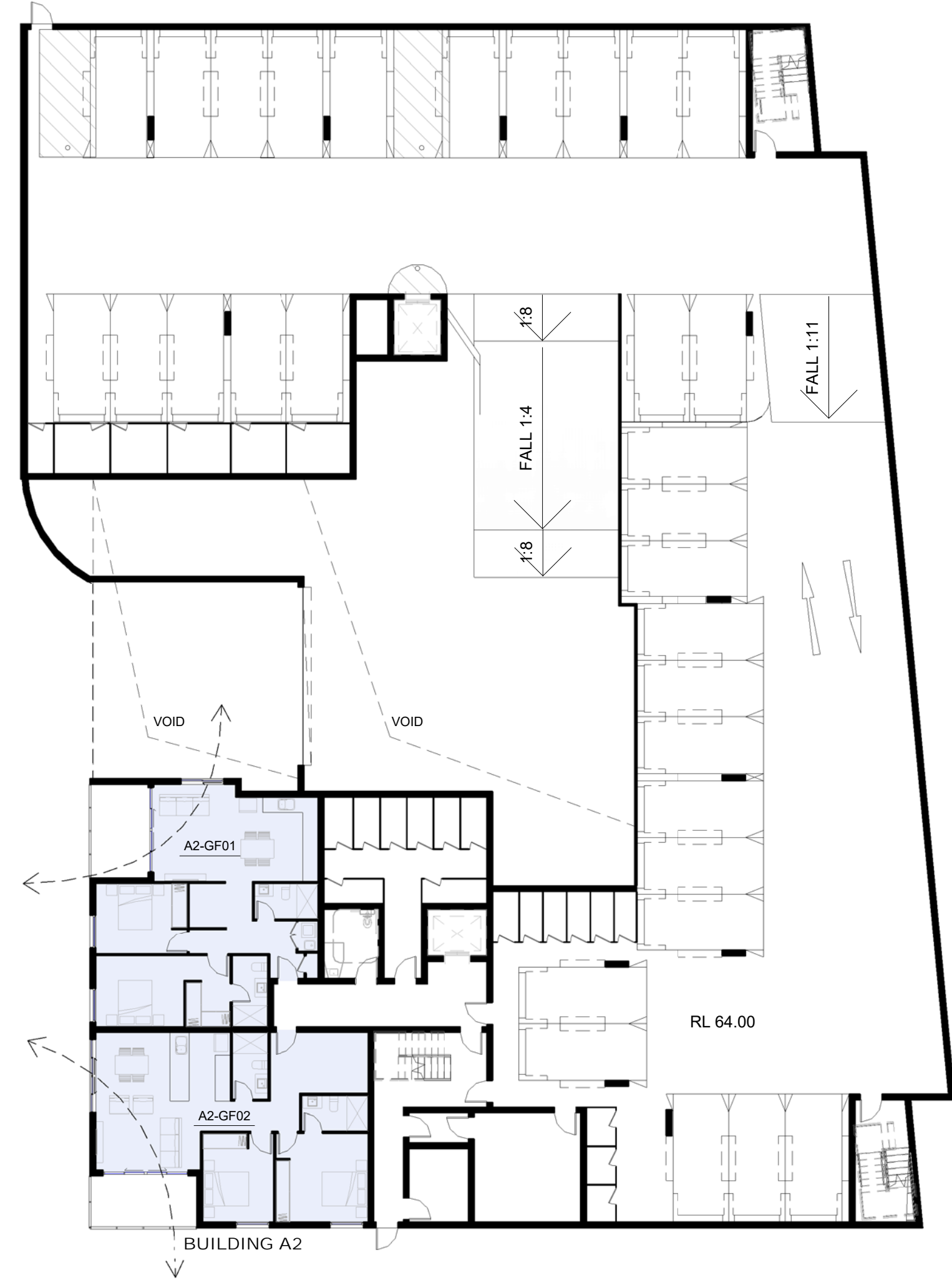
0mm
0mm



1 LOT 1 - LG SOLAR & VENTILATION DIAGRAM
1 : 200



2 LOT 1 - GF SOLAR & VENTILATION DIAGRAM
1 : 200



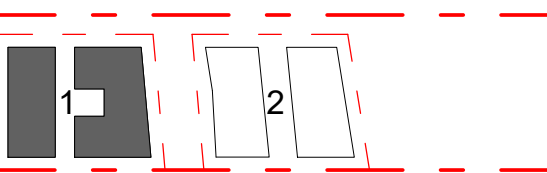
SOLAR ACCESS & NATURAL CROSS VENTILATION DIAGRAM LEGEND

- UNIT WITH SOLAR ACCESS
- UNIT WITH NATURAL CROSS VENTILATION
- UNIT WITH SOLAR ACCESS & NATURAL CROSS VENTILATION

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CLIENT

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RESIDENTIAL
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105 CUDGEGONG
ROAD, ROUSE HILL

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TITLE

SOLAR & VENTILATION
DIAGRAM LOT 1

DA SUBMISSION

Scale 1 : 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 22/06/2017

DRAWING SCALE: 1 : 200

SHEET SIZE: A1

PROJECT NO.

17003

DRAWING NO.

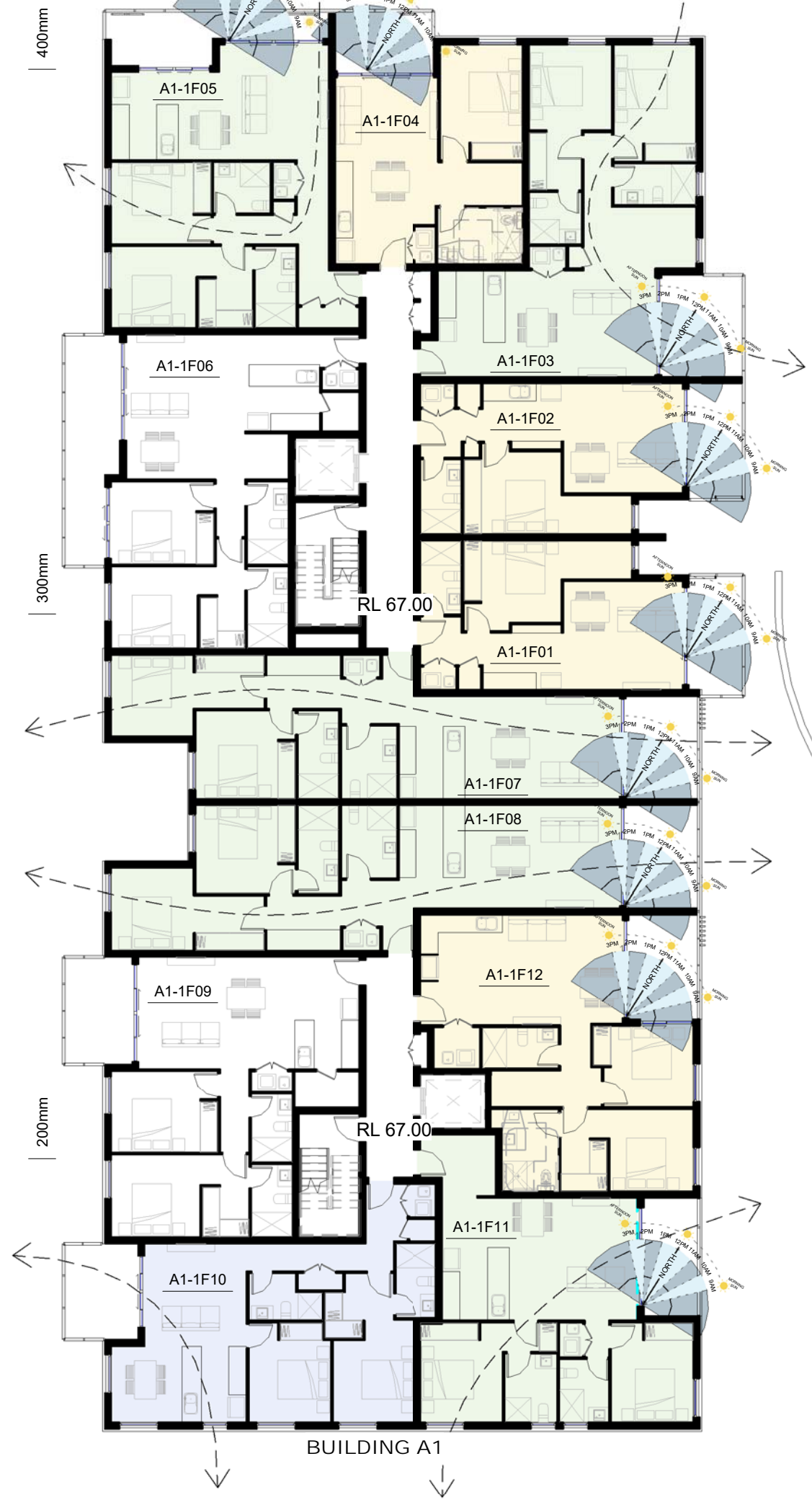
A600

REVISION

1

1/02/2019 3:34:00 PM

500mm



200mm

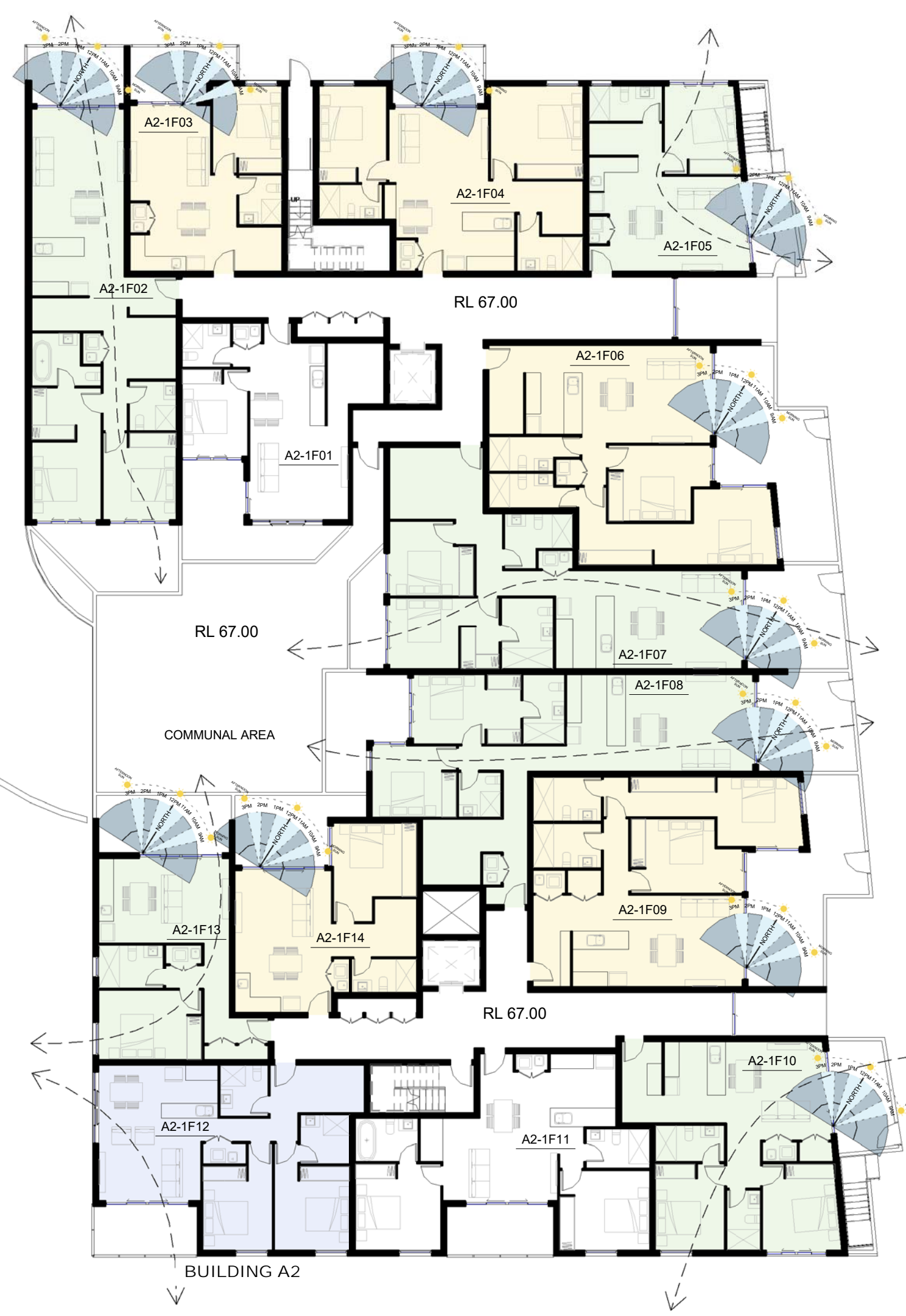
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0mm

0mm

LOT 1 - L1 SOLAR & VENTILATION DIAGRAM

1 : 200



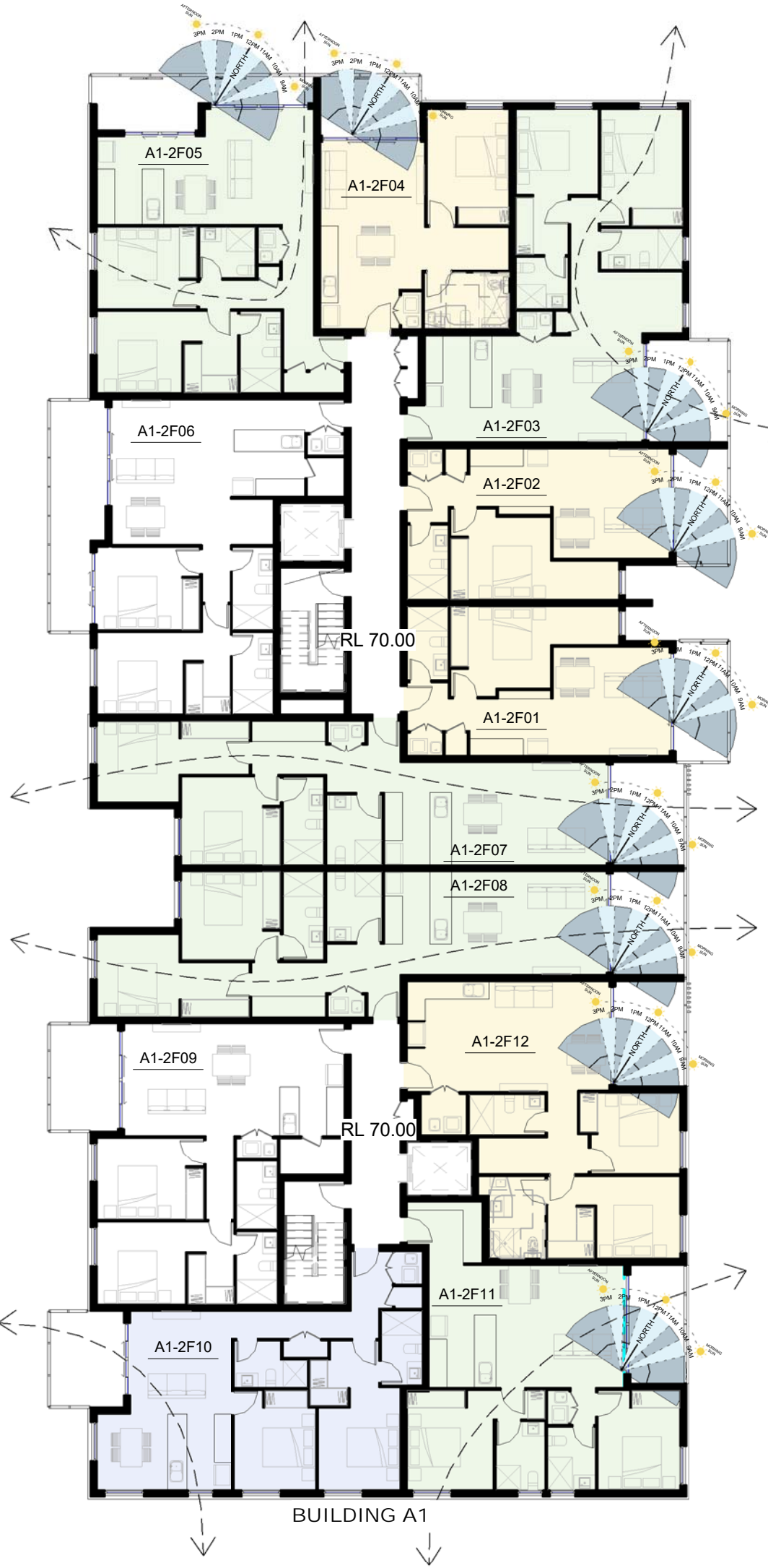
RL 67.00

COMMUNAL AREA

RL 67.00

BUILDING A2

200mm



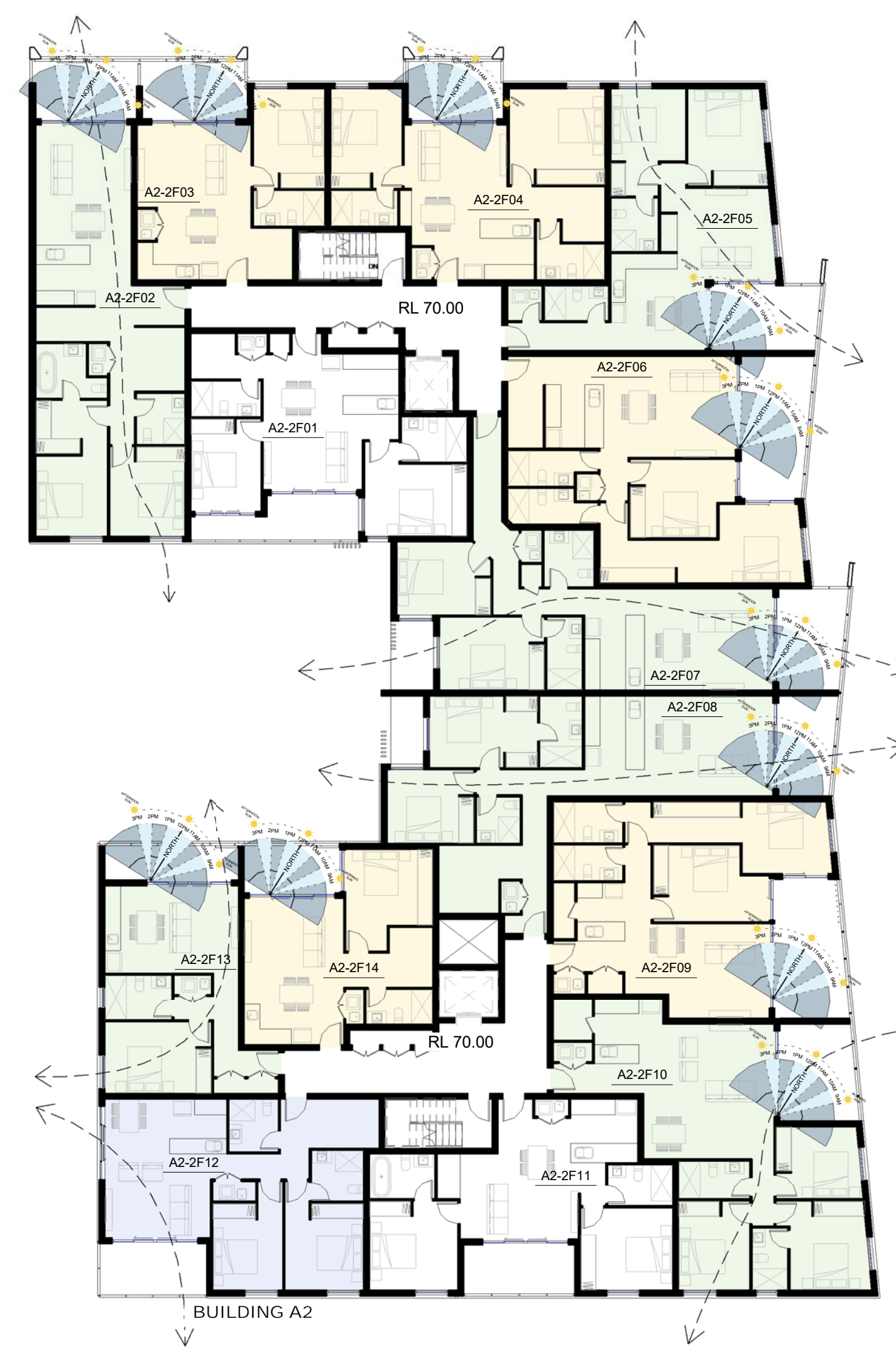
RL 70.00

BUILDING A1

400mm

LOT 1 - L2 SOLAR & VENTILATION DIAGRAM

1 : 200



RL 70.00

BUILDING A2

600mm

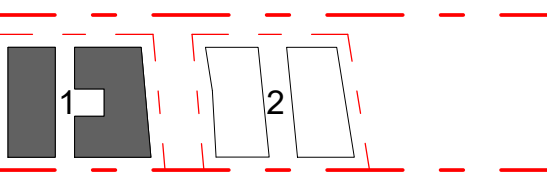
SOLAR ACCESS & NATURAL CROSS VENTILATION DIAGRAM LEGEND

- UNIT WITH SOLAR ACCESS
- UNIT WITH NATURAL CROSS VENTILATION
- UNIT WITH SOLAR ACCESS & NATURAL CROSS VENTILATION

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SOLAR & VENTILATION
DIAGRAM LOT 1

DA SUBMISSION

Scale 1 : 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 22/06/2017

DRAWING SCALE: 1 : 200

SHEET SIZE: A1

PROJECT NO.

17003

DRAWING NO.

A601

REVISION

1

1/02/2019 3:34:21 PM

800mm

500mm

400mm

300mm

200mm

100mm

0mm

0mm

100mm

200mm

300mm

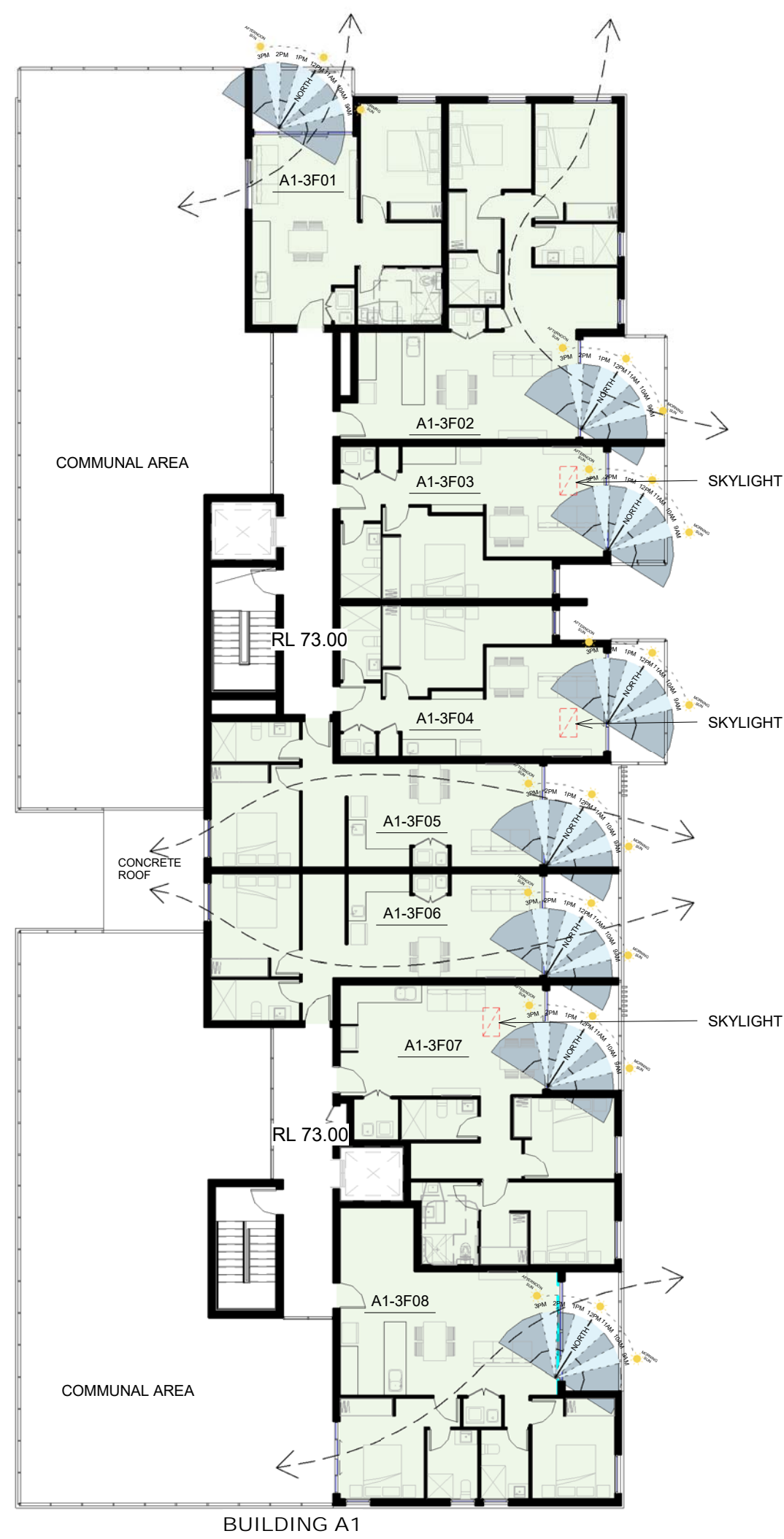
400mm

500mm

600mm

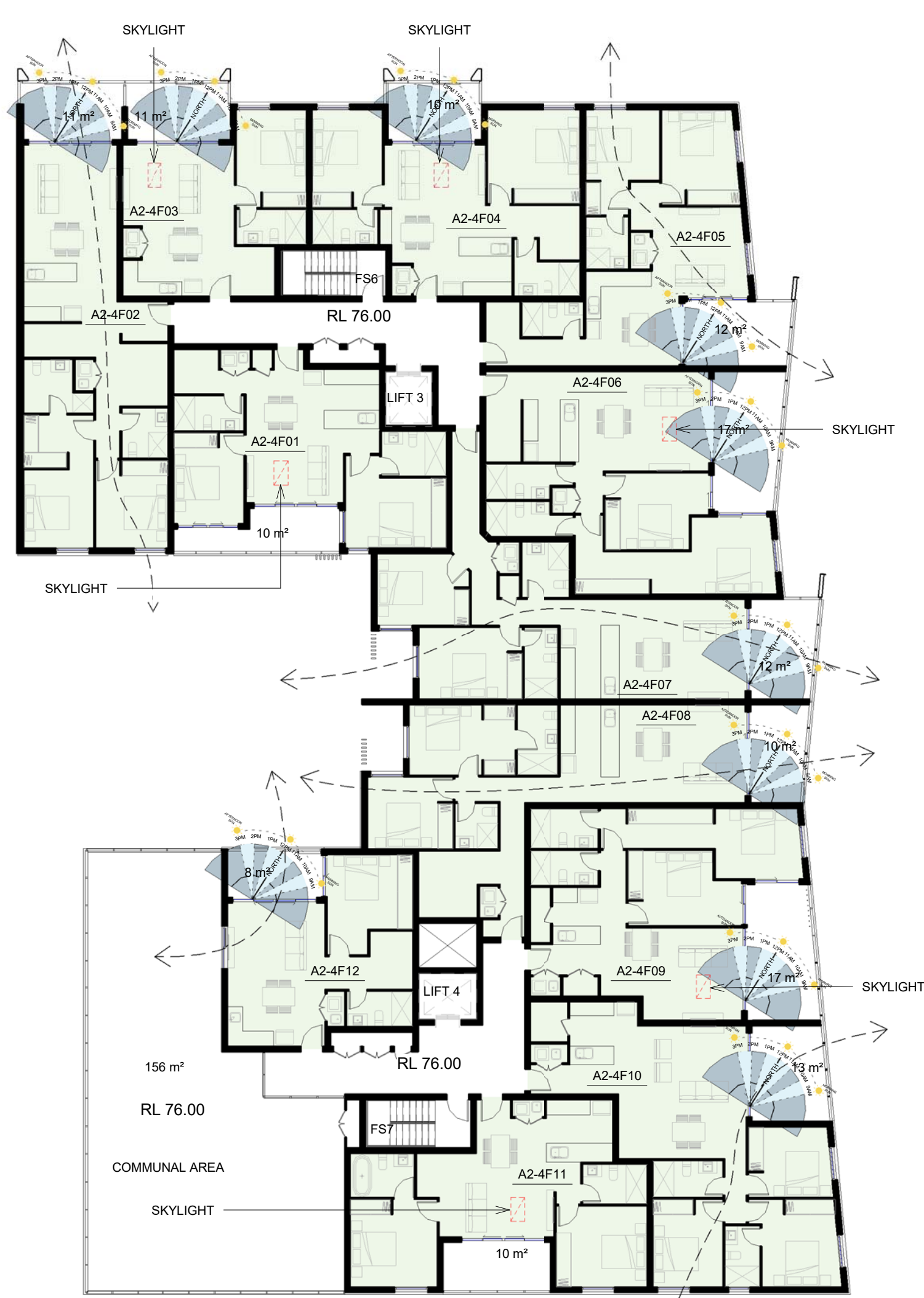
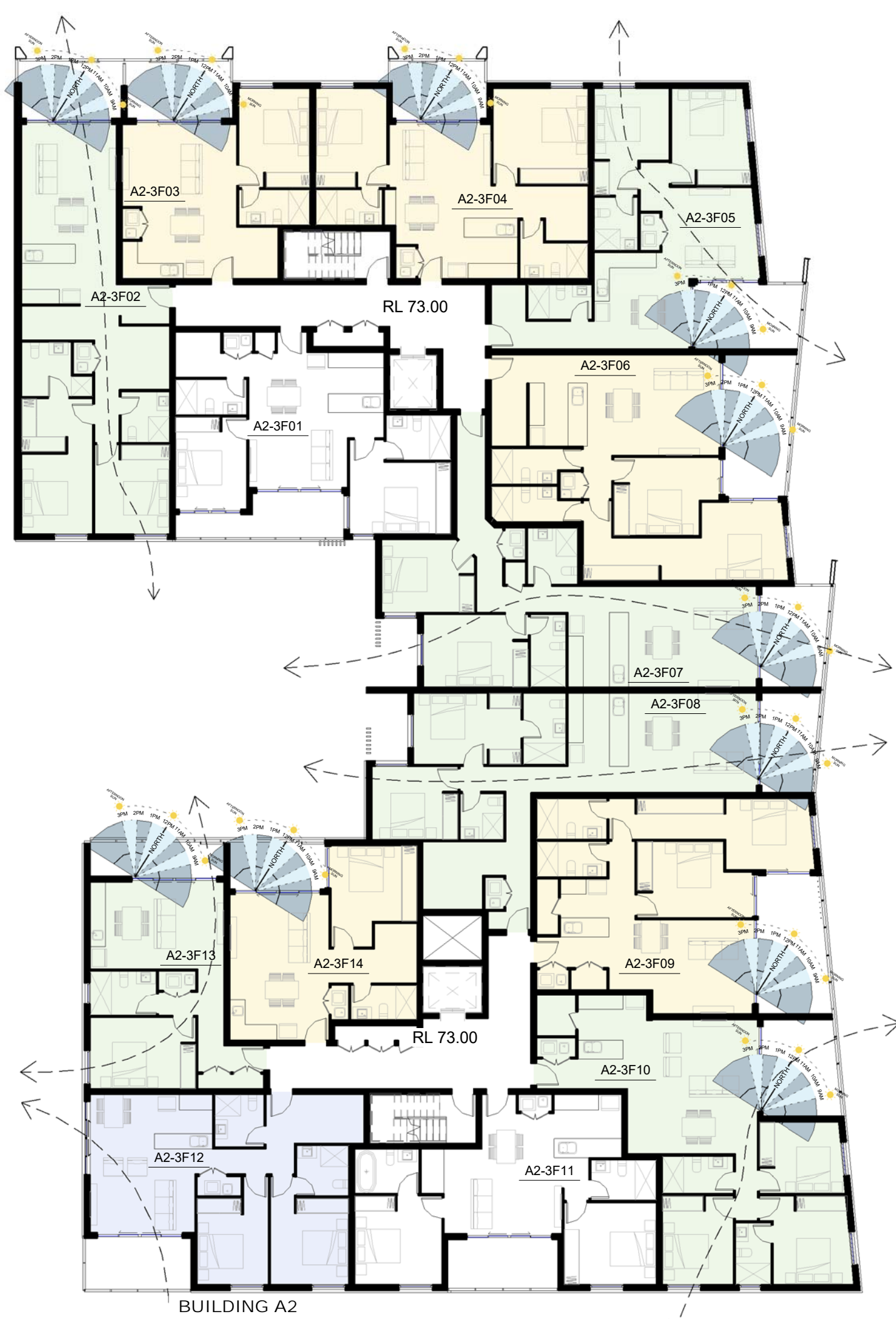
700mm

800mm



LOT 1 - L3 SOLAR & VENTILATION DIAGRAM

1 : 200



LOT 1 - L4 SOLAR & VENTILATION DIAGRAM

1 : 200

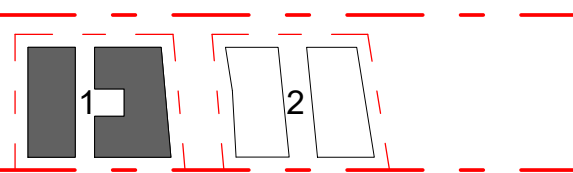
SOLAR ACCESS & NATURAL CROSS VENTILATION DIAGRAM LEGEND

- UNIT WITH SOLAR ACCESS
- UNIT WITH NATURAL CROSS VENTILATION
- UNIT WITH SOLAR ACCESS & NATURAL CROSS VENTILATION

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CLIENT

WEYAND PTY LTD

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RESIDENTIAL DEVELOPMENT

105 CUDGEGONG ROAD, ROUSE HILL

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TITLE

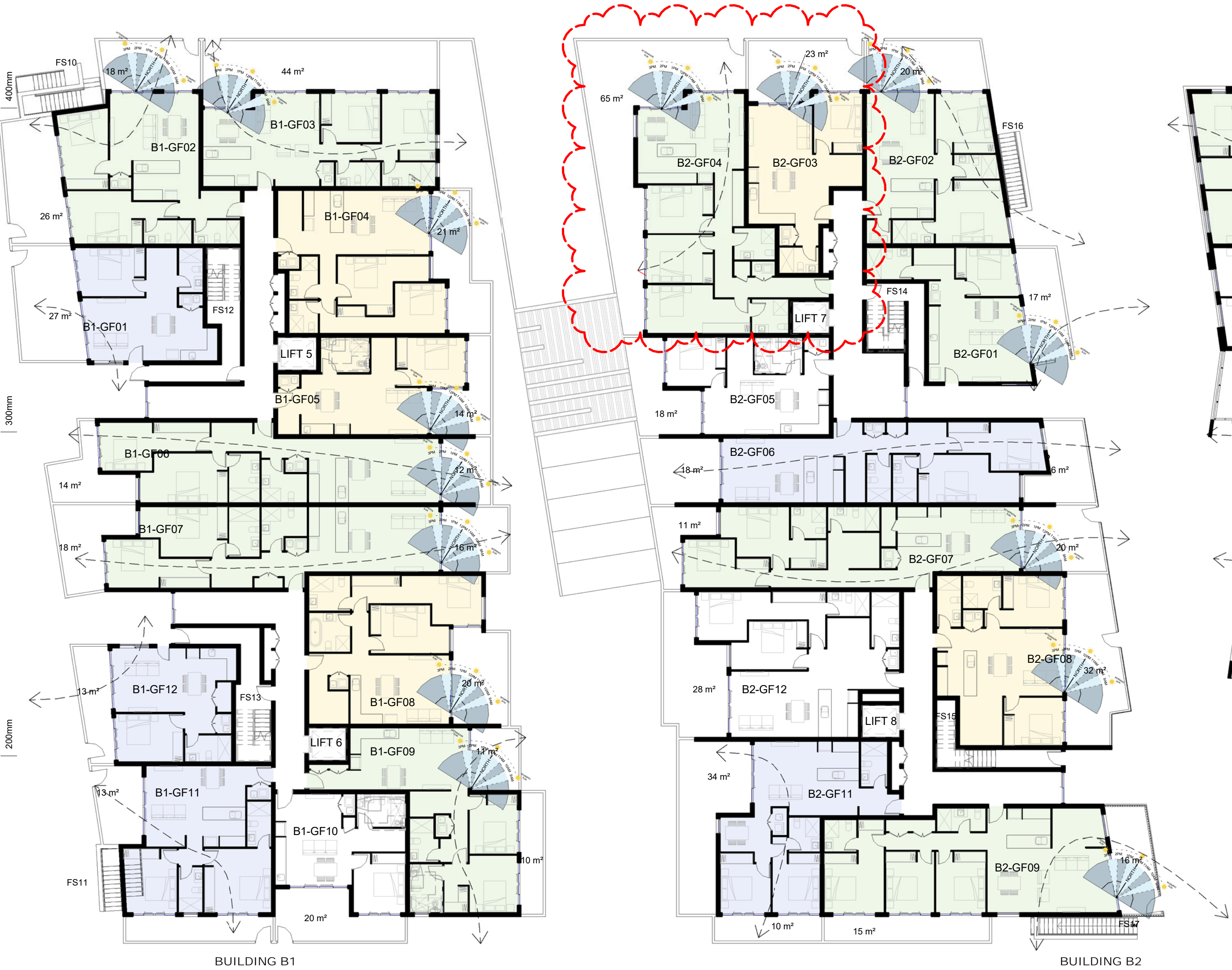
SOLAR & VENTILATION
DIAGRAM LOT 1

DA SUBMISSION

| | | |
|--------------------------|----------------------|----------|
| Scale 1 : 100 0 2 4 6 | | |
| | STAGE: DA SUBMISSION | |
| | DATE: 22/06/2017 | |
| DRAWING SCALE: 1 : 200 | SHEET SIZE: | A1 |
| PROJECT NO. | DRAWING NO. | REVISION |
| 17003 | A602 | 1 |

1/02/2019 3:34:37 PM

500mm



LOT 2 - GF SOLAR & VENTILATION DIAGRAM

1 : 200

LOT 2 - L1 SOLAR & VENTILATION DIAGRAM

1 : 200

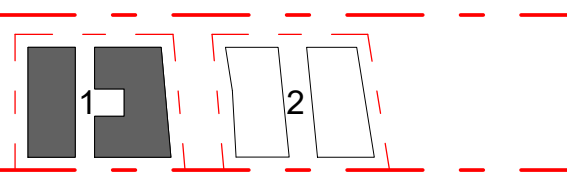
SOLAR ACCESS & NATURAL CROSS VENTILATION DIAGRAM LEGEND

- UNIT WITH SOLAR ACCESS
- UNIT WITH NATURAL CROSS VENTILATION
- UNIT WITH SOLAR ACCESS & NATURAL CROSS VENTILATION

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| 15/01/2019 | 2 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
|------------|-----|-------------------------------------|
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |



CLIENT

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RESIDENTIAL DEVELOPMENT

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ACN 169 027 936

Australia, Singapore, Hong Kong, China

TITLE

SOLAR & VENTILATION
DIAGRAM LOT 2

DA SUBMISSION

Scale 1 : 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 15/01/2019

DRAWING SCALE: 1 : 200

SHEET SIZE: A1

PROJECT NO.

17003

DRAWING NO.

A603

REVISION

2

1/02/2019 3:34:56 PM

100mm

0mm

0mm

100mm

200mm

300mm

400mm

500mm

600mm

700mm

800mm

500mm

400mm

300mm

200mm

100mm

0mm

100mm

200mm

300mm

400mm

500mm

600mm

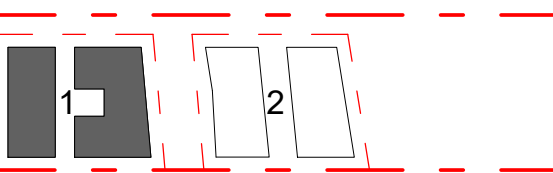
700mm

800mm

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| 15/01/2019 | 2 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |



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SOLAR & VENTILATION
DIAGRAM LOT 2

DA SUBMISSION

Scale 1 : 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 15/01/2019

DRAWING SCALE: 1 : 200

SHEET SIZE: A1

PROJECT NO.

17003

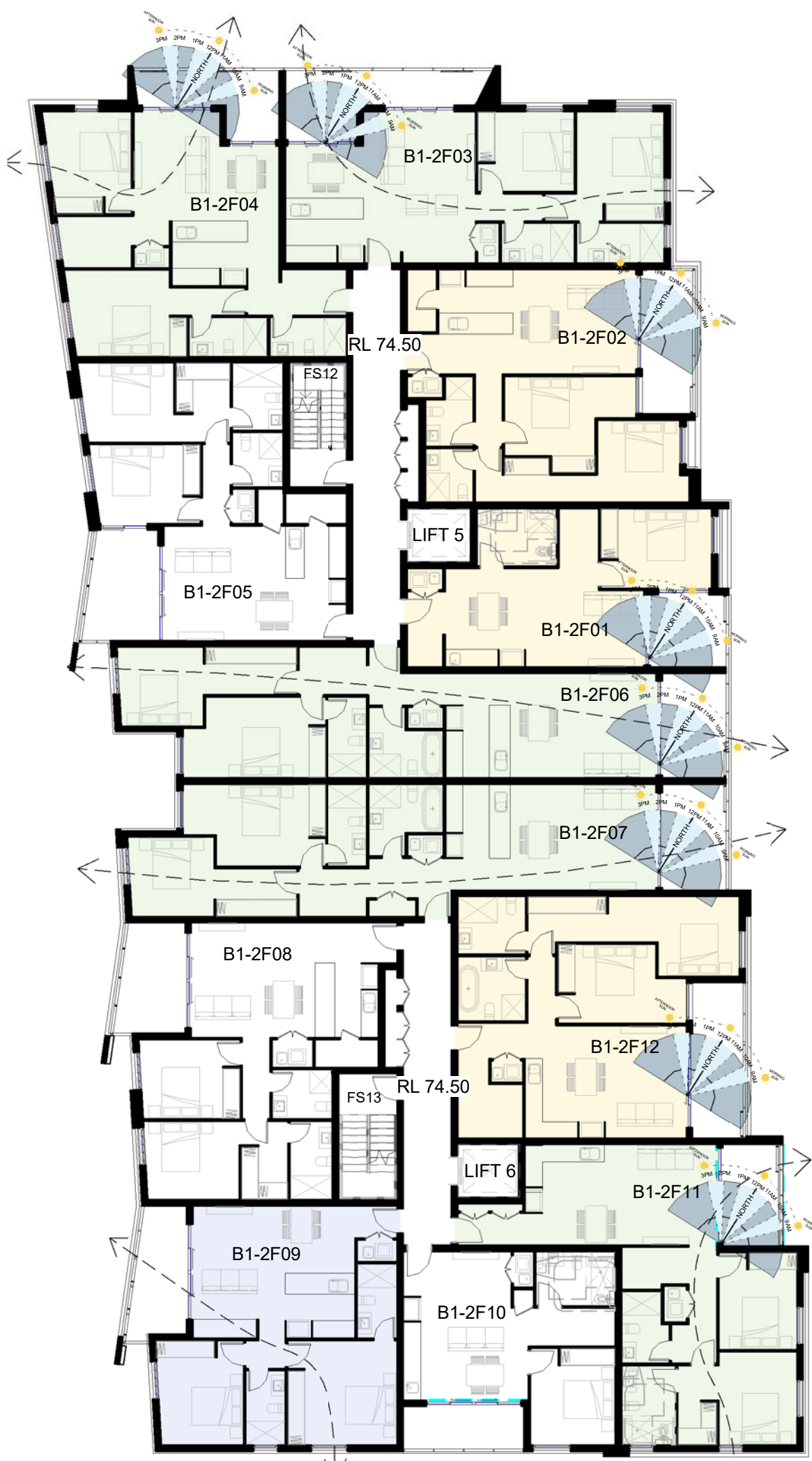
DRAWING NO.

A604

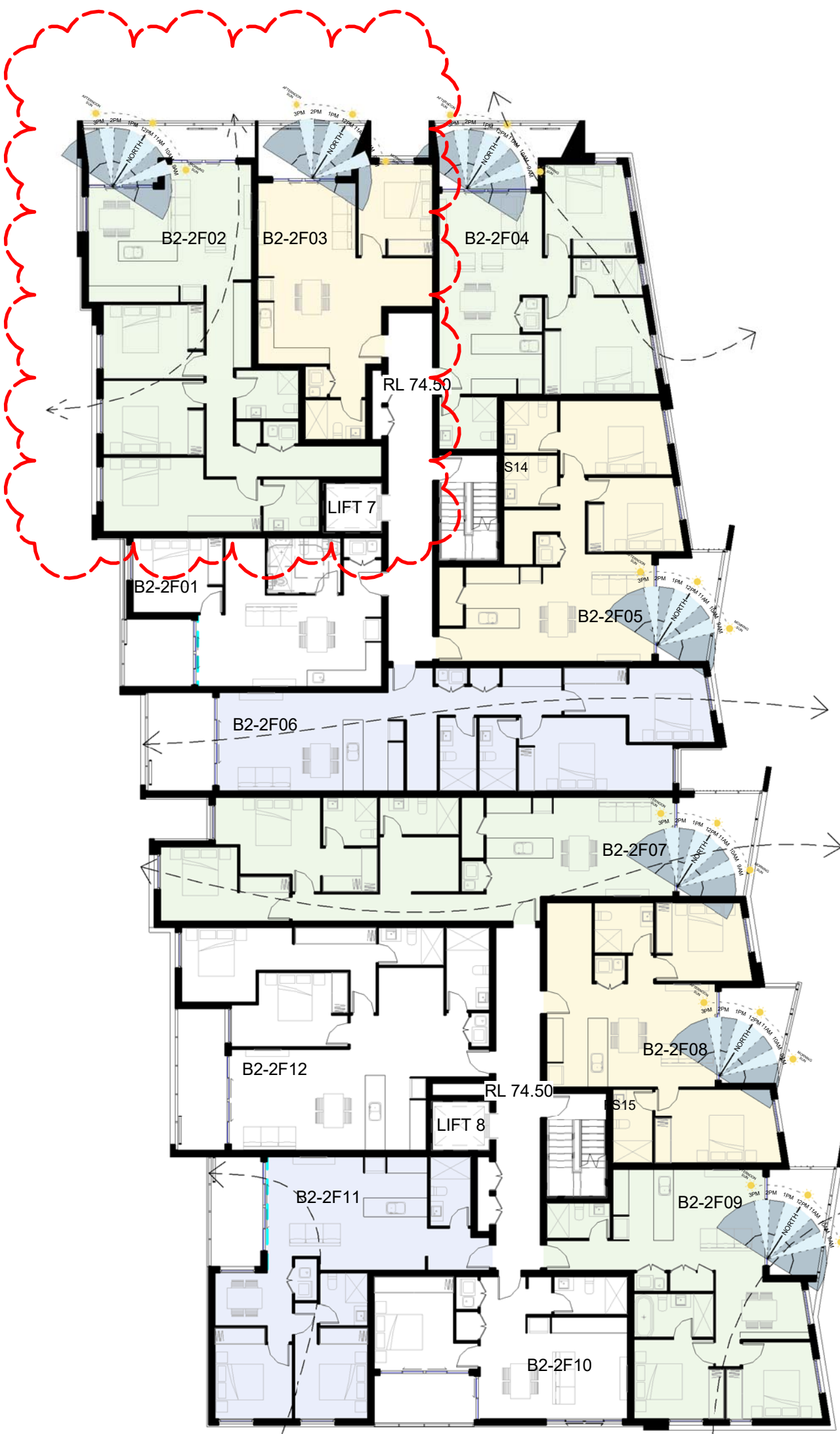
REVISION

2

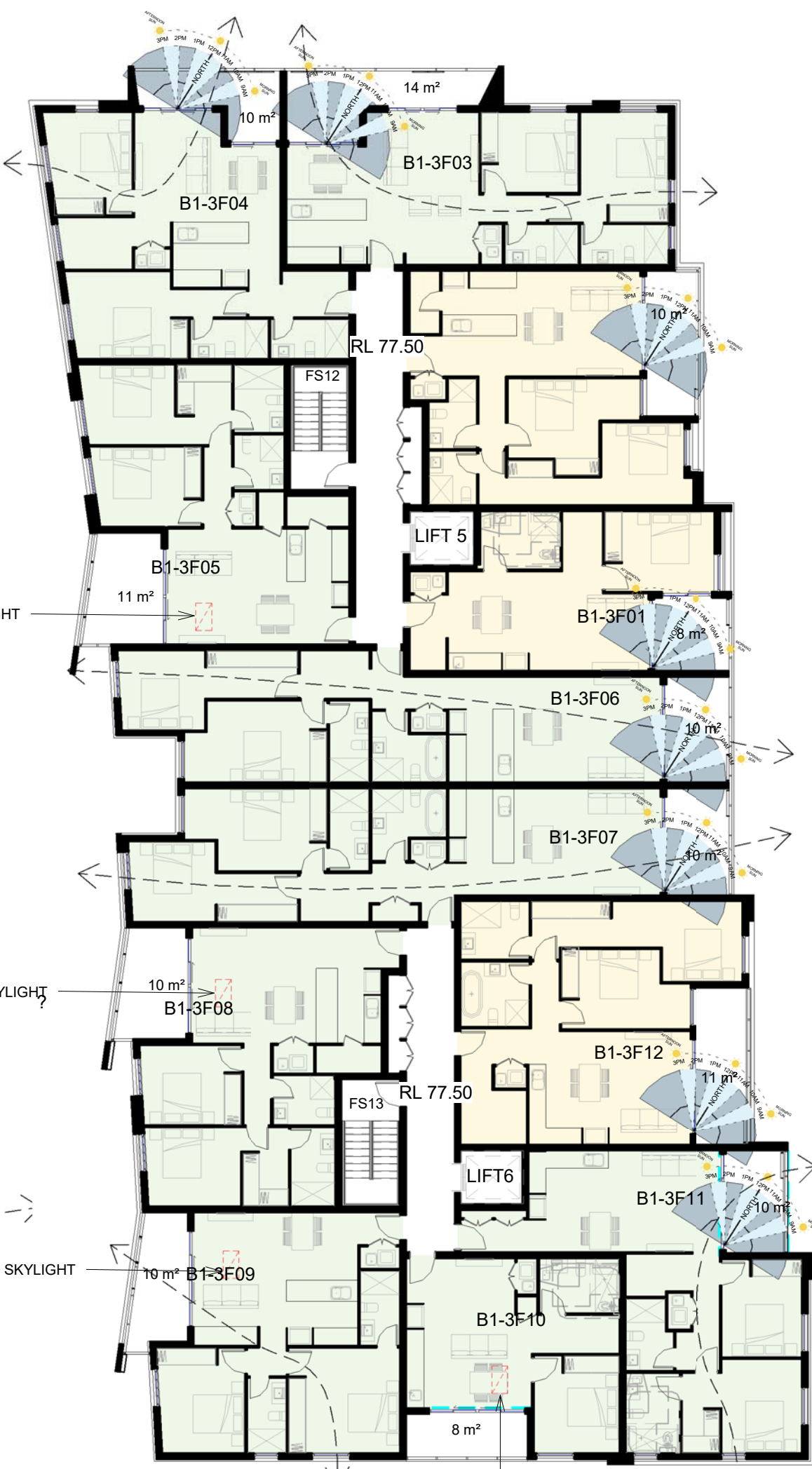
1/02/2019 3:35:18 PM



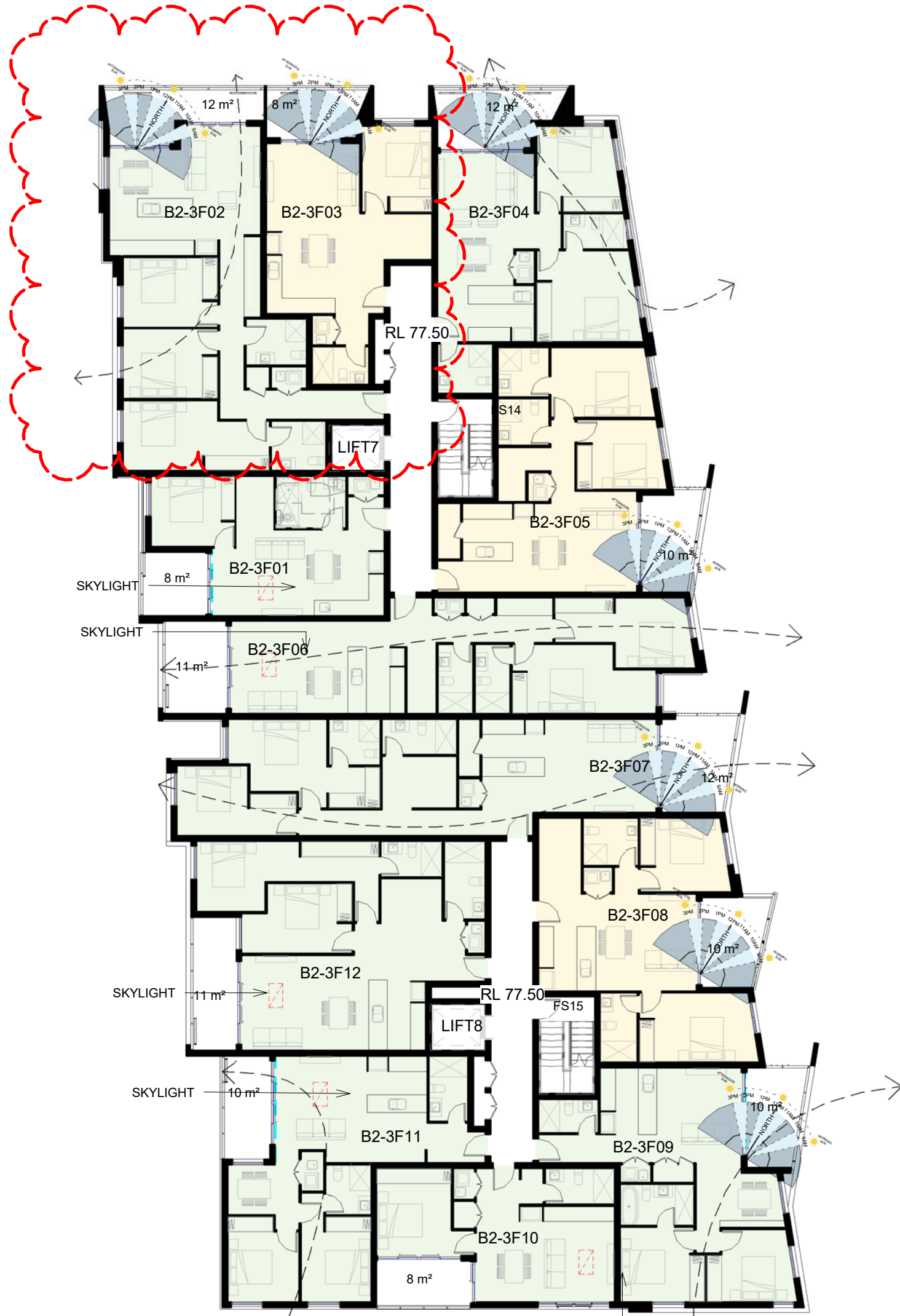
BUILDING B1



BUILDING B2



BUILDING B1



BUILDING B2

1 LOT 2 - L2 SOLAR & VENTILATION DIAGRAM
1 : 200

2 LOT 2 - L3 SOLAR & VENTILATION DIAGRAM
1 : 200

SOLAR ACCESS & NATURAL CROSS VENTILATION DIAGRAM LEGEND

- UNIT WITH SOLAR ACCESS
- UNIT WITH NATURAL CROSS VENTILATION
- UNIT WITH SOLAR ACCESS & NATURAL CROSS VENTILATION

500mm

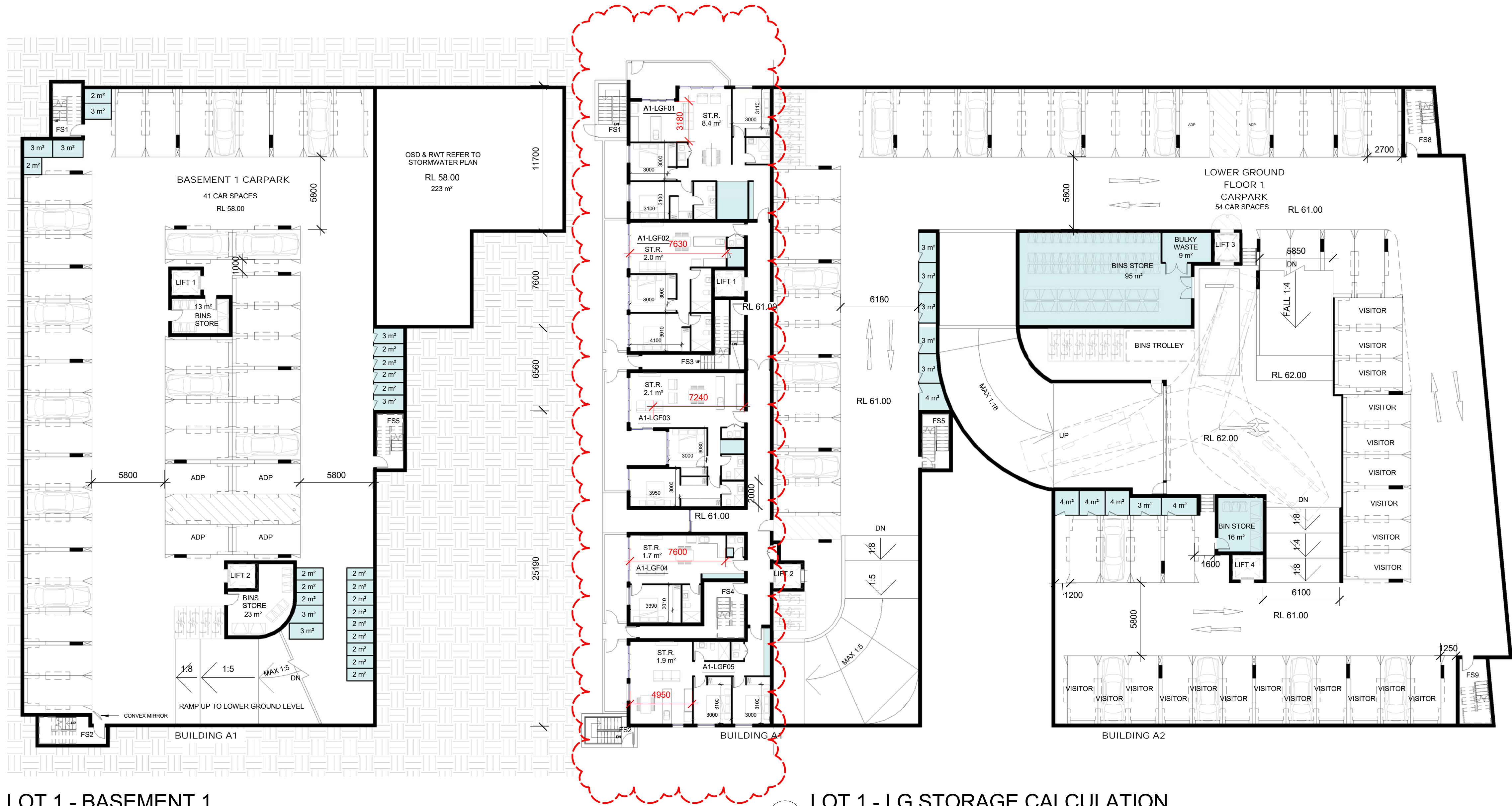
400mm

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200mm

100mm

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100mm
200mm
300mm
400mm
500mm
600mm
700mm



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| 15/01/2019 | 2 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



Planning . Architecture . Interior . Landscapes
The Silver Arc Dreamscapes Pty Ltd

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Email: info@thearc.com.au
Website: www.thearc.com.au

ACN 169 027 936

Australia. Singapore. Hong Kong. China

TITLE

ADG COMPLIANCE DIAGRAM
LOT 1

DA SUBMISSION

Scale 1 : 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 15/01/2019

DRAWING SCALE: 1 : 200

SHEET SIZE: A1

PROJECT NO.

DRAWING NO.

REVISION

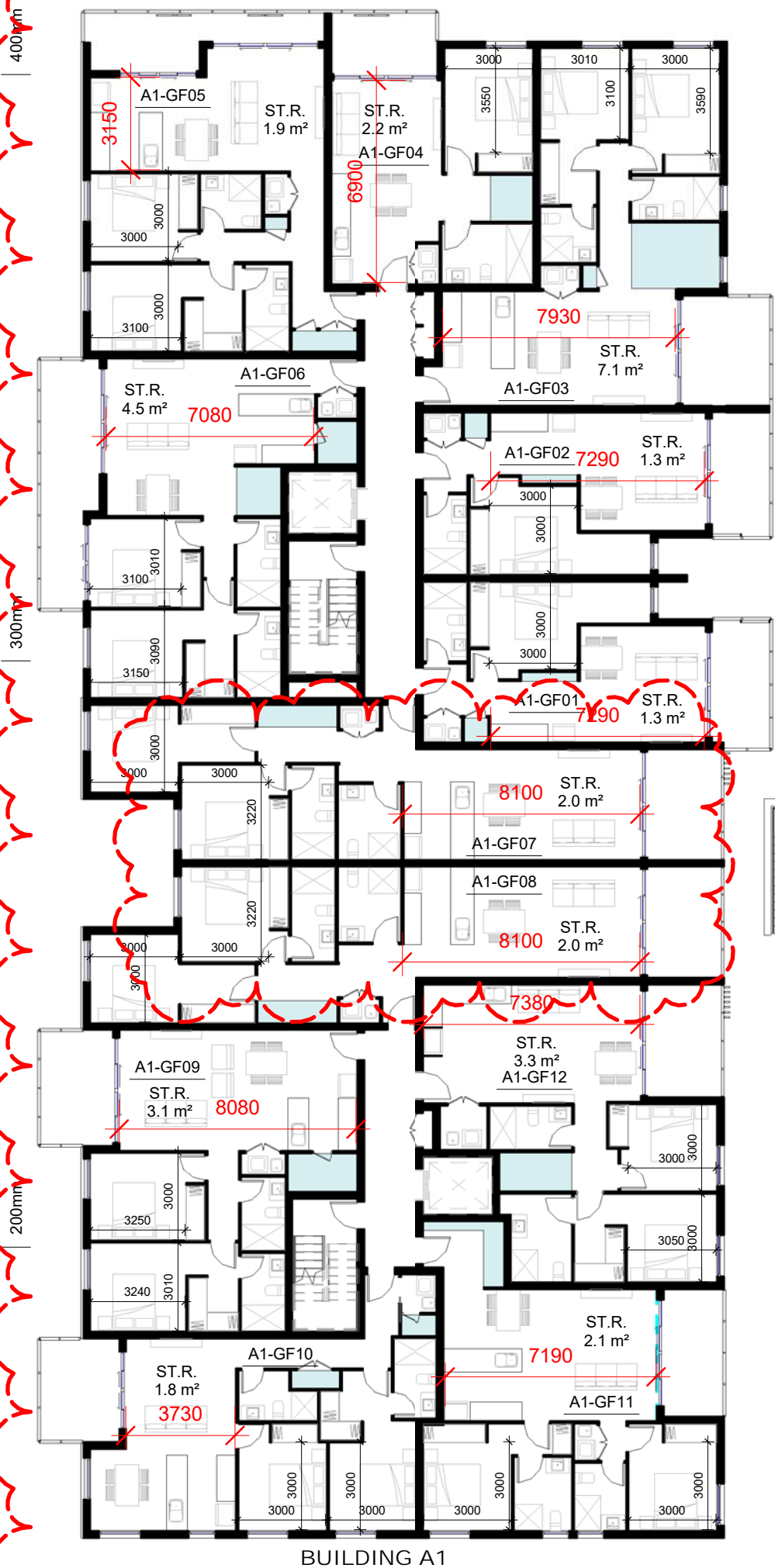
17003

A701

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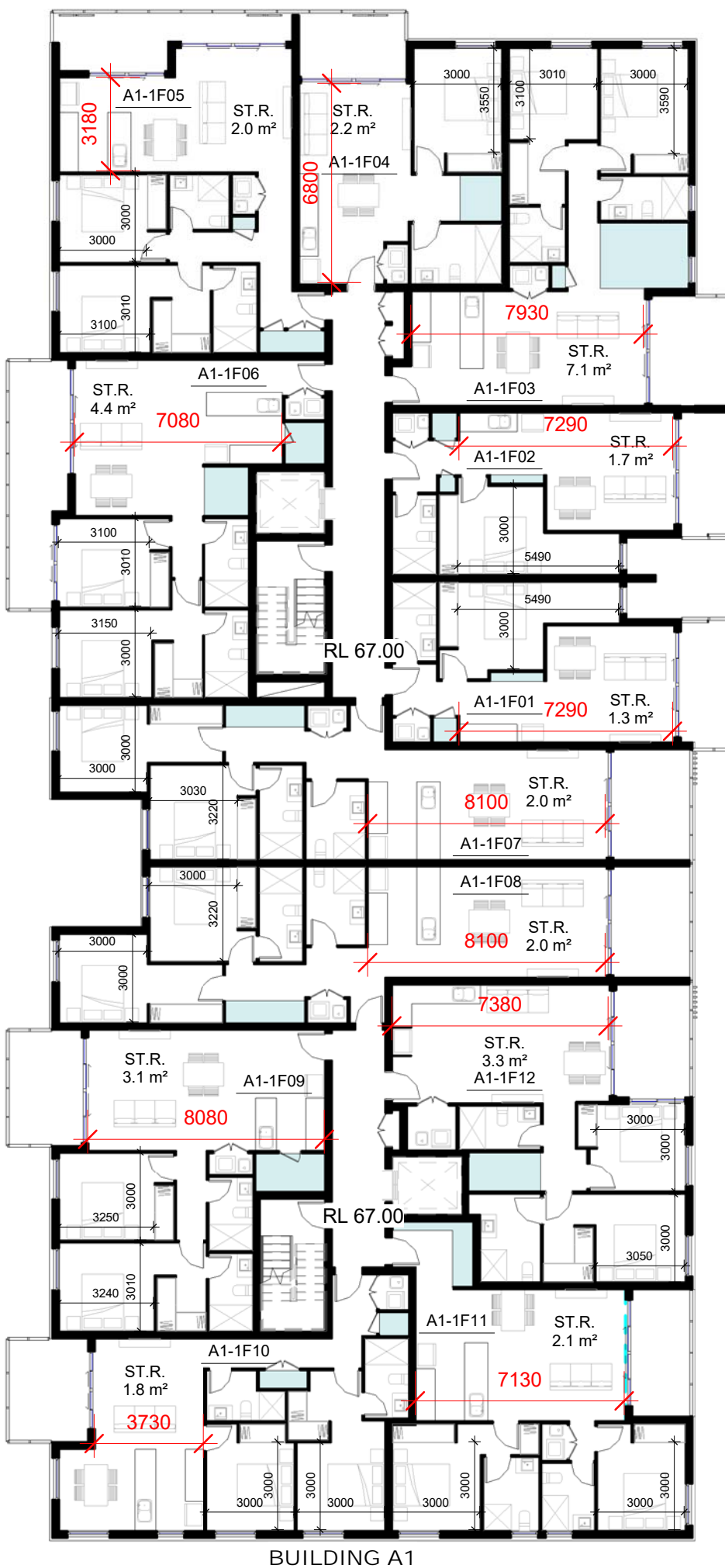


1 LOT 1 - GF STORAGE CALCULATION
SITE BOUNDARY
1 : 200

100mm



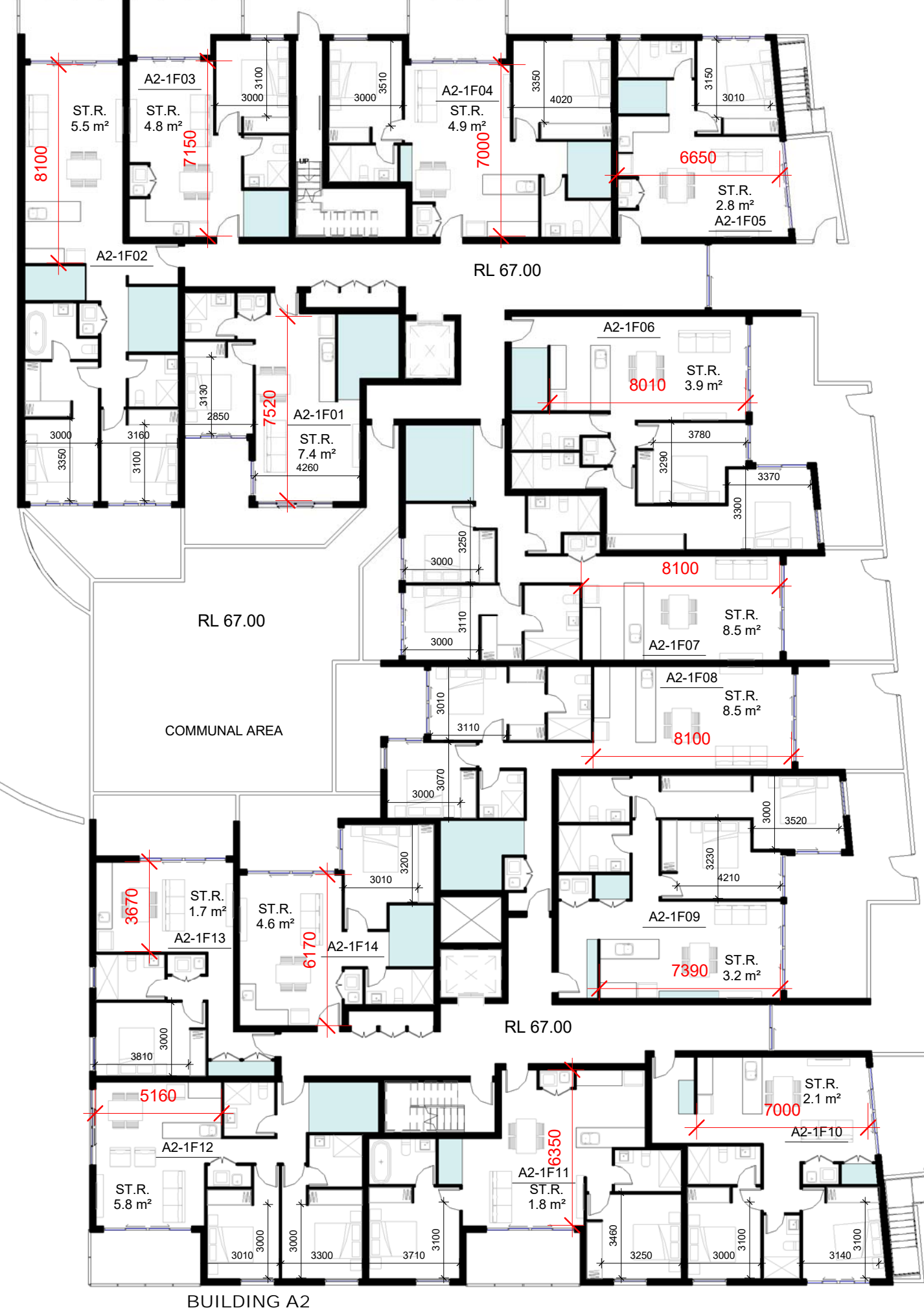
BUILDING A2



BUILDING A1

2 LOT 1 - L1 STORAGE CALCULATION
1 : 200

400mm



BUILDING A2

500mm

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Australia, Singapore, Hong Kong, China

TITLE
**ADG COMPLIANCE DIAGRAM
LOT 1**

DA SUBMISSION

Scale 1 : 100
0 2 4 6

STAGE: DA SUBMISSION
DATE: 15/01/2019

DRAWING SCALE: 1 : 200 SHEET SIZE: A1

PROJECT NO. **17003** DRAWING NO. **A702** REVISION **2**

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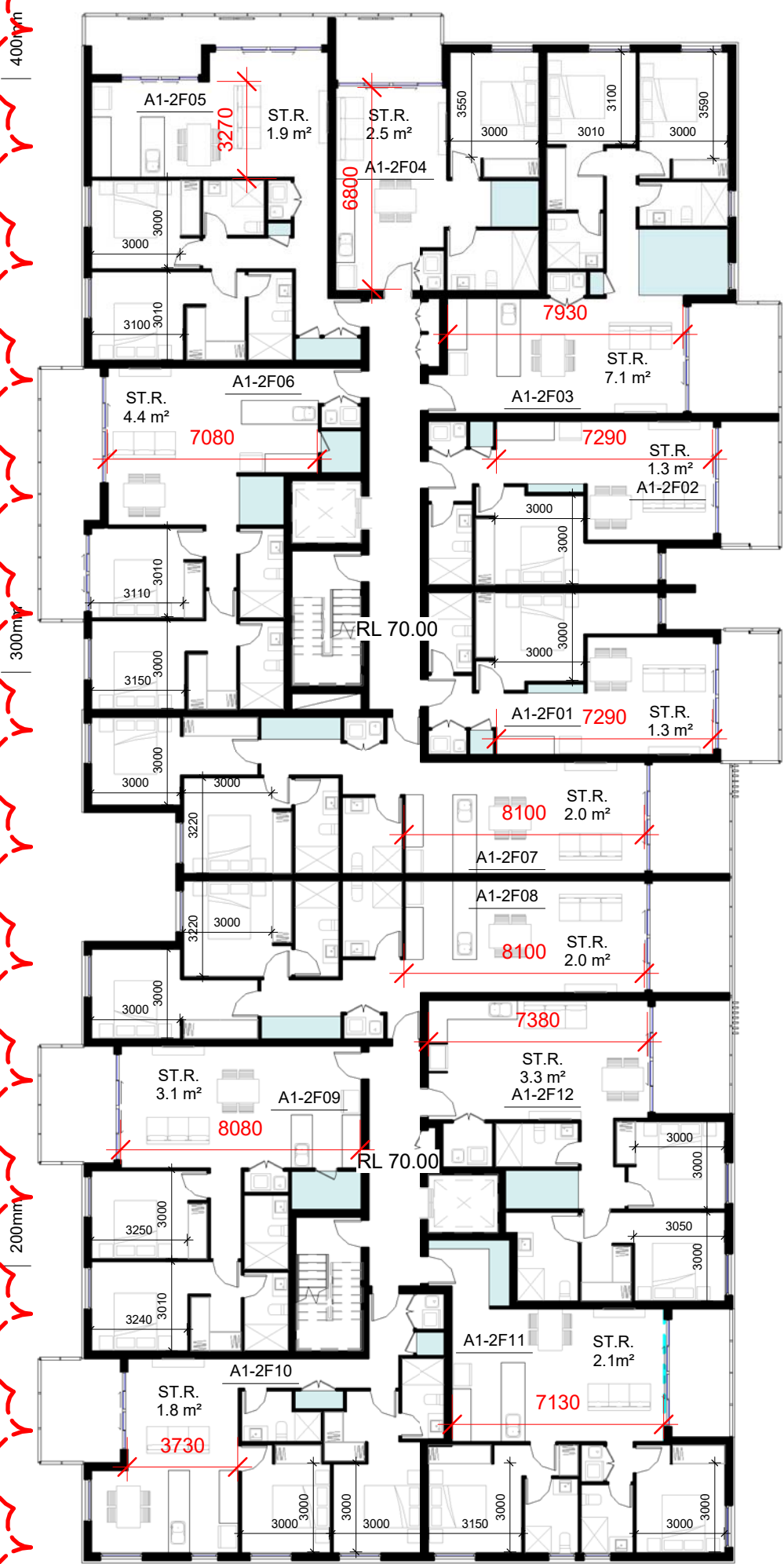
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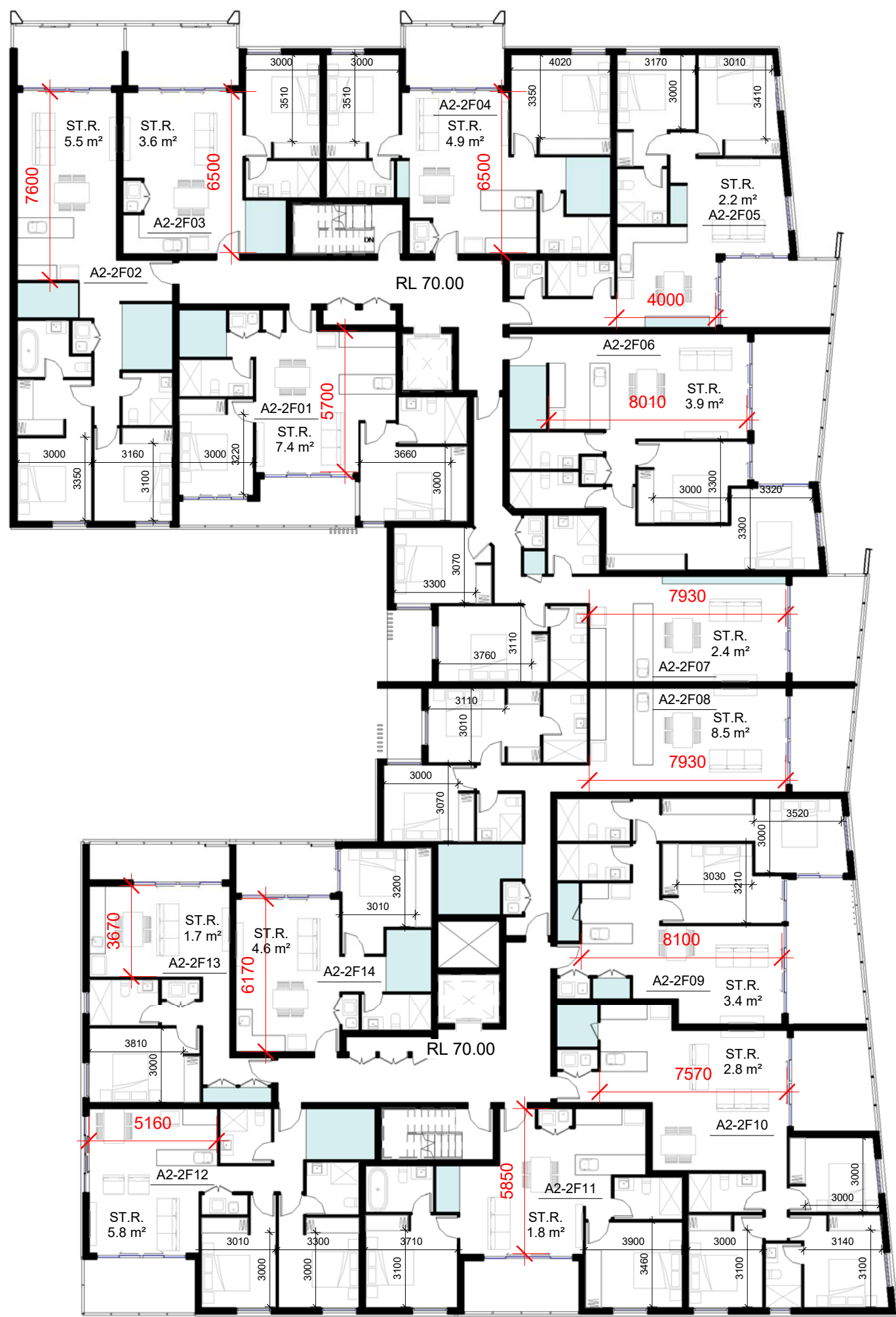
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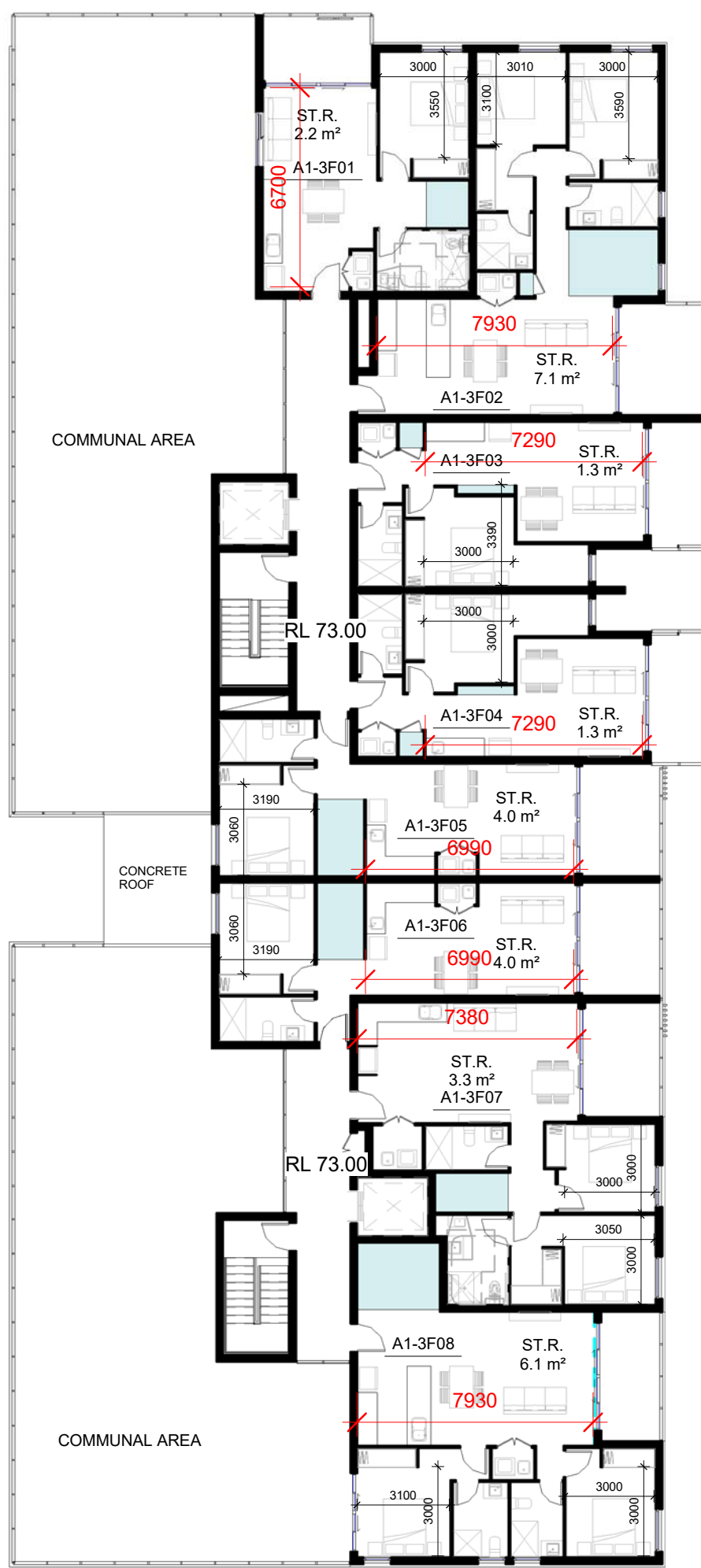
LOT 1 - L2 STORAGE CALCULATION

1 : 200

100mm



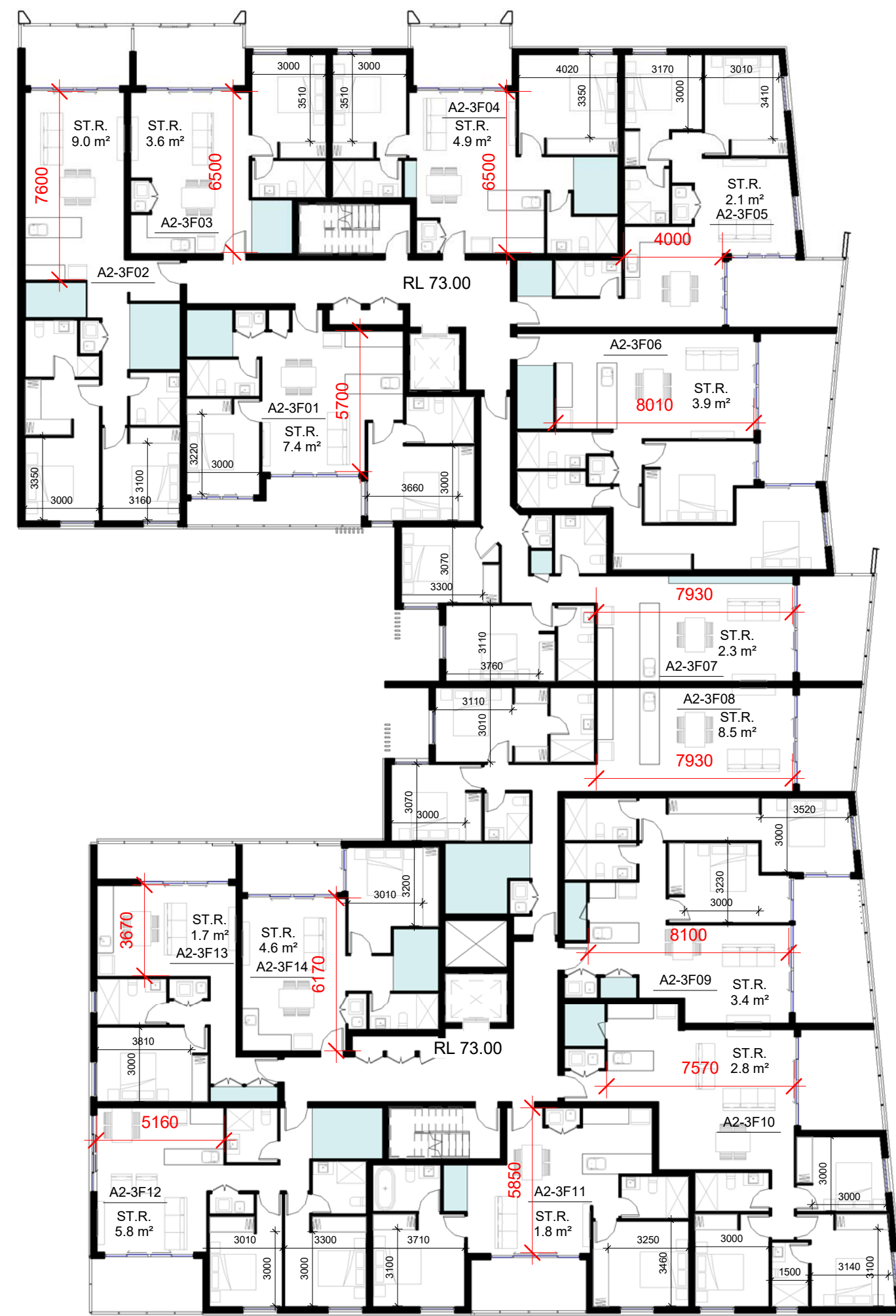
BUILDING A2



BUILDING A1

LOT 1 - L3 STORAGE CALCULATION

1 : 200



BUILDING A2

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| 22/06/2017 | 1 | ISSUE FOR DA |

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



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Australia. Singapore. Hong Kong. China

TITLE

ADG COMPLIANCE DIAGRAM
LOT 1

DA SUBMISSION

Scale 1 : 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 15/01/2019

DRAWING SCALE: 1 : 200

SHEET SIZE:

A1

PROJECT NO.

17003

DRAWING NO.

A703

REVISION

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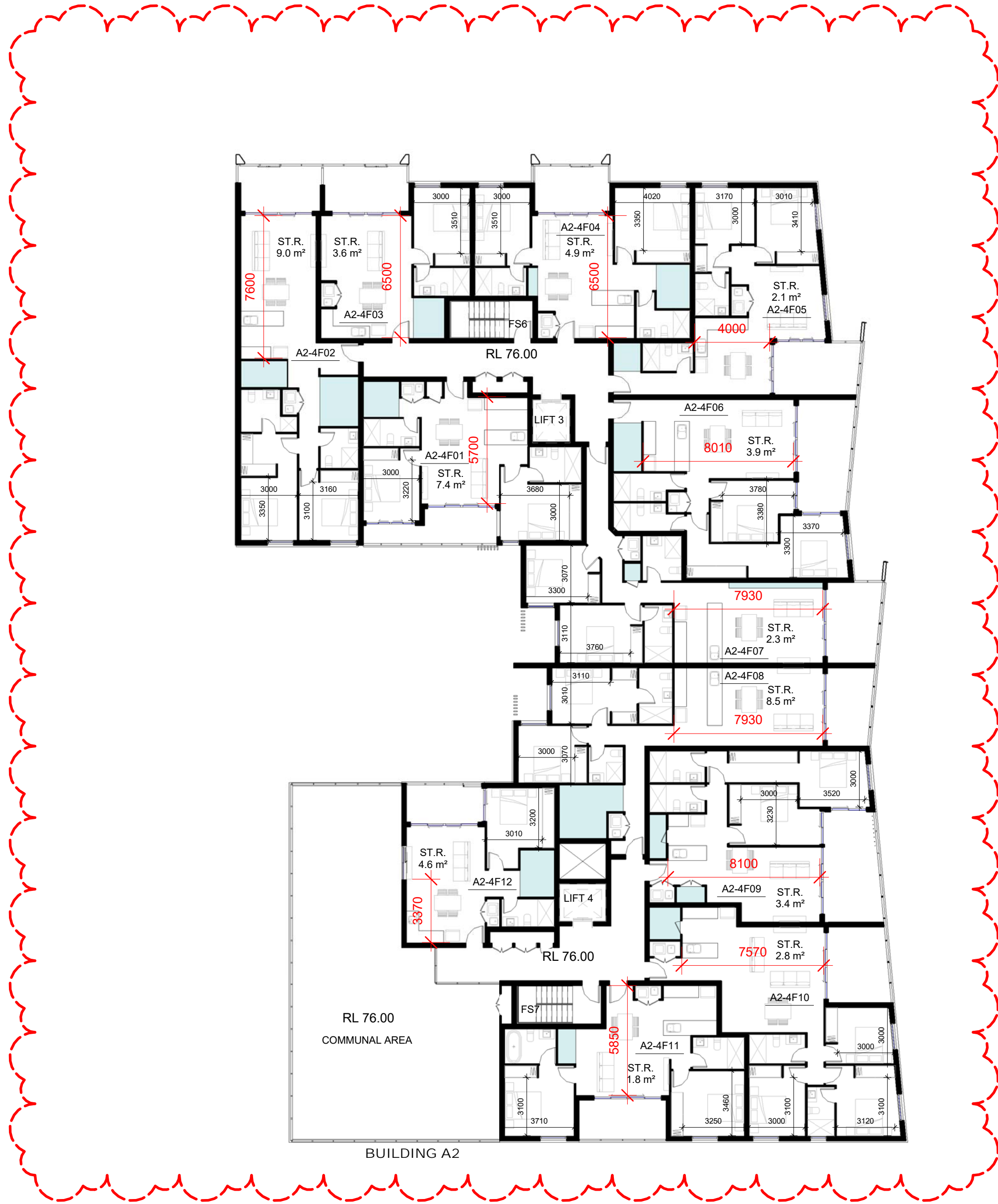
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500mm

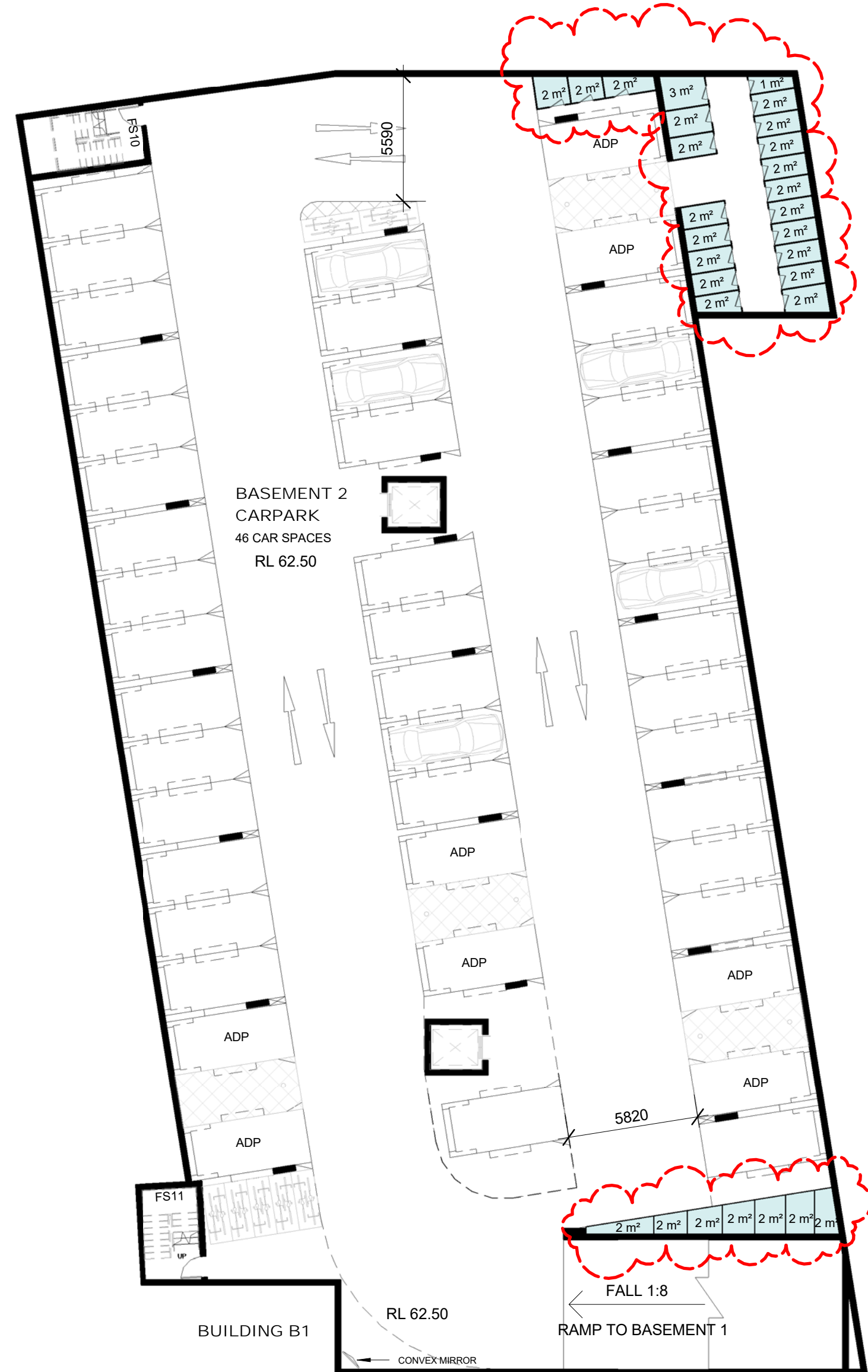
600mm

700mm

800mm



1 LOT 1 - L4 STORAGE CALCULATION
1:200



2 LOT 2 BASEMENT 2
1:200

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| 15/01/2019 | 2 | AMENDMENT FOR COUNCIL REQUIREMENT 1 |
| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |

CLIENT

WEYAND PTY LTD

PROJECT

RESIDENTIAL
DEVELOPMENT

105 CUDGEGONG
ROAD, ROUSE HILL

ARCHITECT



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Australia. Singapore. Hong Kong. China

TITLE

ADG COMPLIANCE DIAGRAM
LOT 1 & 2

DA SUBMISSION

Scale 1: 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 15/01/2019

DRAWING SCALE: 1:200

SHEET SIZE:

A1

PROJECT NO.

17003

DRAWING NO.

A704

REVISION

2

1/02/2019 3:36:09 PM

500mm



1 LOT 2 BASEMENT 1
1 : 200

100mm

0mm
0mm



2 LOT 2 - GF STORAGE CALCULATION
1 : 200

400mm

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| 22/06/2017 | 1 | ISSUE FOR DA |
| Date | Rev | Description |

CLIENT

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PROJECT

RESIDENTIAL DEVELOPMENT

105 CUDGEGONG ROAD, ROUSE HILL

ARCHITECT

DREAMSCAPES ARCHITECTS

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ACN 169 027 936

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TITLE

ADG COMPLIANCE DIAGRAM LOT 2

DA SUBMISSION

| | | |
|------------------------|-------------|----------|
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| 0 2 4 6 | | |
| STAGE: DA SUBMISSION | | |
| DATE: 15/01/2019 | | |
| DRAWING SCALE: 1 : 200 | SHEET SIZE: | A1 |
| PROJECT NO. | DRAWING NO. | REVISION |
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TITLE

ADG COMPLIANCE DIAGRAM
LOT 2

DA SUBMISSION

Scale 1 : 100

0 2 4 6



STAGE: DA SUBMISSION

DATE: 15/01/2019

DRAWING SCALE: 1 : 200

SHEET SIZE: A1

PROJECT NO.

17003

DRAWING NO.

A706

REVISION

2

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1 LOT 2 - L1 STORAGE CALCULATION
1 : 200

2 LOT 2 - L2 STORAGE CALCULATION
1 : 200



1 BIRDS EYE VIEW FROM WEST



2 EASTERN STREET SCAPES

Notes DA:

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TITLE

PERSPECTIVE

DA SUBMISSION

Scale 1 : 100

0 2 4 6

| | | |
|----------------------|-------------|----------|
| STAGE: DA SUBMISSION | | |
| DATE: 22/06/2017 | | |
| DRAWING SCALE: | SHEET SIZE: | A1 |
| PROJECT NO. | DRAWING NO. | REVISION |
| 17003 | A800 | 1 |

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CLAUSE 4.6 VARIATION TO CLAUSE 4.3 – HEIGHT OF BUILDINGS
OF APPENDIX 6 – AREA 20 PRECINCT PLAN OF THE STATE ENVIRONMENTAL PLANNING POLICY
(SYDNEY REGION GROWTH CENTRES) 2006

1. Introduction

This submission seeks a variation to Clause 4.3 under Appendix 6 – Area 20 Precinct Plan of the State Environmental Planning Policy (Sydney Region Growth Centres) 2006 (Sydney Region Growth Centres SEPP), which relates to building height.

This submission has been prepared with regards to a development application seeking demolition of existing buildings and the construction of a residential flat complex comprising four (4) x four (4) storey residential flat buildings for a total of 200 units with basement parking, associated landscaping and torrens title subdivision at No. 105 Cudgegong Road, Rouse Hill.

As detailed in this written request for a variation to building height being a development standard under Appendix 6 of the Sydney Region Growth Centres SEPP, the proposed development meets the requirements prescribed under Clause 4.6 within Appendix 6 of the Sydney Region Growth Centres SEPP – Area 20 Precinct Plan 2011.

This submission is made under Clause 4.6 within Appendix 6 of the Sydney Region Growth Centres SEPP – Exceptions to development standards. Clause 4.6 states the following:

“4.6 Exceptions to development standards

- (1) The objectives of this clause are as follows:
 - (a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,*
 - (b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.**
- (2) Development consent may, subject to this clause, be granted for a development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.*
- (3) Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:
 - (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and*
 - (b) that there are sufficient environmental planning grounds to justify contravening the development standard.**
- (4) Development consent must not be granted for development that contravenes a development standard unless:
 - (a) the consent authority is satisfied that:
 - (i) the applicant’s written request has adequately addressed the matters required to be demonstrated by subclause (3), and*
 - (ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and**
 - (b) the concurrence of the Director-General has been obtained.**

- (5) *In deciding whether to grant concurrence, the Director-General must consider:*
- (a) *whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and*
 - (b) *the public benefit of maintaining the development standard, and*
 - (c) *any other matters required to be taken into consideration by the Director-General before granting concurrence.*
- (6) *Development consent must not be granted under this clause for a subdivision of land in Zone RU1 Primary Production, Zone RU2 Rural Landscape, Zone RU3 Forestry, Zone RU4 Primary Production Small Lots, Zone RU6 Transition, Zone R5 Large Lot Residential, Zone E2 Environmental Conservation, Zone E3 Environmental Management or Zone E4 Environmental Living if:*
- (a) *the subdivision will result in 2 or more lots of less than the minimum area specified for such lots by a development standard, or*
 - (b) *the subdivision will result in at least one lot that is less than 90% of the minimum area specified for such a lot by a development standard.*
- Note.** *When this Precinct Plan was made it did not include any of these zones other than Zone E2 Environmental Conservation.*
- (7) *After determining a development application made pursuant to this clause, the consent authority must keep a record of its assessment of the factors required to be addressed in the applicant's written request referred to in subclause (3).*
- (8) *This clause does not allow development consent to be granted for development that would contravene any of the following:*
- (a) *a development standard for complying development,*
 - (b) *a development standard that arises, under the regulations under the Act, in connection with a commitment set out in a BASIX certificate for a building to which State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 applies or for the land on which such a building is situated,*
 - (c) *clause 5.4."*

The use of Clause 4.6 to enable an exception to this development control is appropriate in this instance and the consent authority may be satisfied that all requirements of Clause 4.6 have been satisfied in terms of the merits of the proposed development and the content in this Clause 4.6 variation request report.

Clause 4.6 Exceptions to development standards establishes the framework for varying development standards applying under a local environmental plan. Subclause 4.6(3)(a) and 4.6(3)(b) requires that a consent authority must not grant consent to a development that contravenes a development standard unless a written request has been received from the applicant that seeks to justify the contravention of the standard by demonstrating that:

"4.6(3)(a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and

4.6(3)(b) that there is sufficient environmental planning grounds to justify contravening the development standard."

In addition, 4.6(4)(a)(i) and (ii) requires that development consent must not be granted to a development that contravenes a development standard unless the:

- (a) *the consent authority is satisfied that:*
 - (i) *the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and*

(ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and"

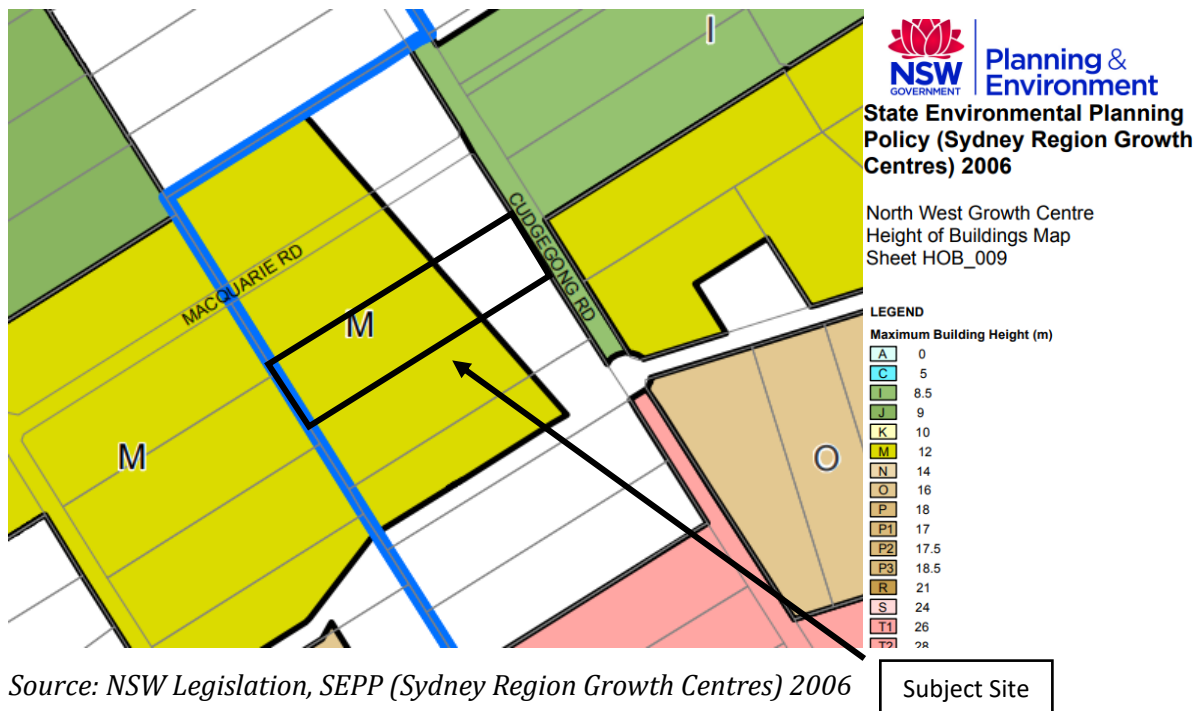
The Environmental Planning Instrument to which these variations relate to is Appendix 6 of the Sydney Region Growth Centres SEPP which relates to Area 20 Precinct Plan 2011.

The development standard to which this variation relates to is Clause 4.3 – Height of Buildings, which reads as follows:

- 1) *The objectives of this clause are as follows:*
 - (a) to establish the maximum height of buildings on land within the Area 20 Precinct,*
 - (b) to minimise the visual impact and protect the amenity of adjoining development and land in terms of solar access to buildings and open space,*
 - (c) to facilitate higher density development in and around commercial centres and major transport routes.*
- 2) *The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.*

Council's maps identify a maximum building height on the site of 12 metres. Refer to Figure 1.

Figure 1: Height of Buildings Map



The maximum proposed height for Lot 1 is 13.64m and 16.2m for Lot 2.

A written justification is therefore required for the proposed variation to the height of buildings development standard, in accordance with Clause 4.6 of the Area 20 Precinct Plan 2011.

2. Site Background

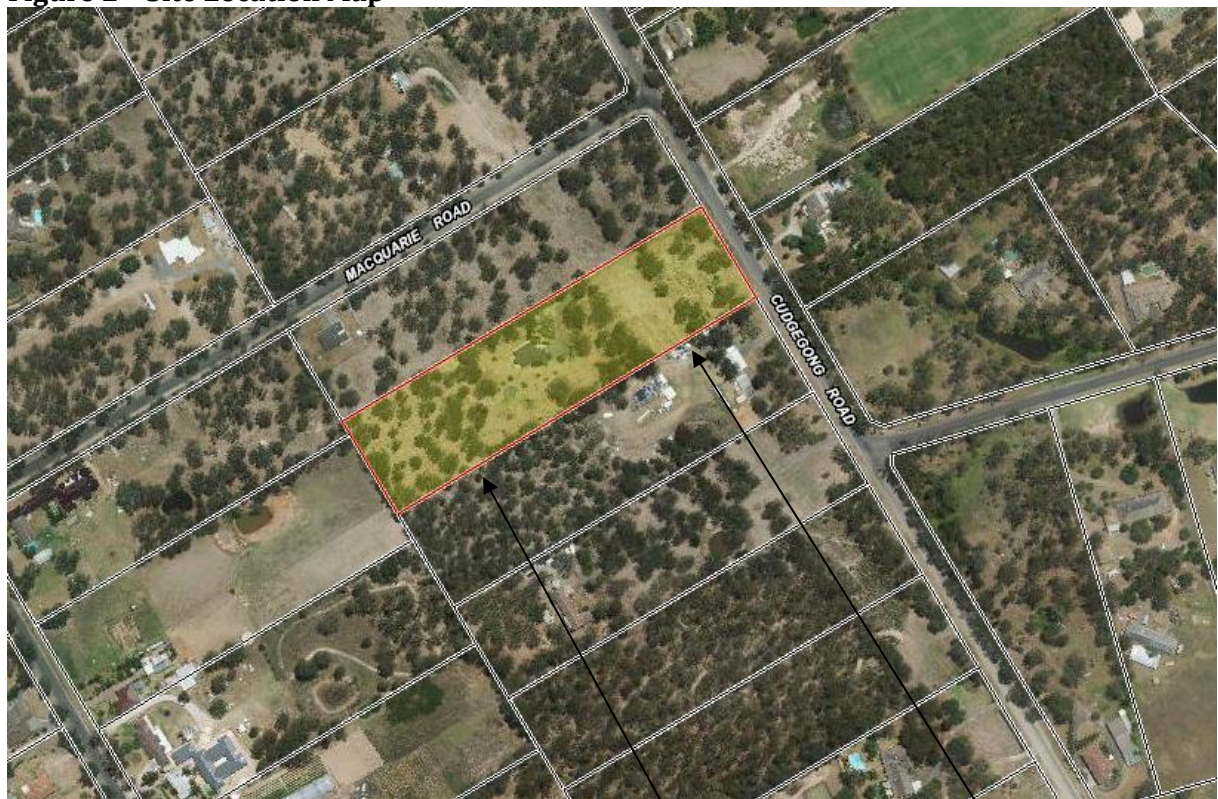
The subject site is commonly known as 105 Cudgegong Road, Rouse Hill, and is legally referred to as Lot 80 of Deposited Plan 208203. The site is located on the western side of Cudgegong Road.

The site is a rectangular shape, with a frontage of 72.045m to Cudgegong Road and a depth of 280.86m. The site measures 2.023ha in area.

In terms of its topography, the site falls to the north-east and south-west, and rises in the centre of the property.

Existing on the site is a two-storey brick dwelling. The site is accessed by a gravel driveway from Cudgegong Road. An overheard powerline transmission easement owned by Endeavour Energy exists on the property with a width of 30.48m. Refer to Figure 1 – Site Location Map.

Figure 2 – Site Location Map



Source: <https://maps.six.nsw.gov.au/>

Subject Site

Transmission Easement

Development in the area is largely characterised by similarly large lot rural residential lots. However, the subject site falls within the North West Growth Centre, a new land release area for the purposes of meeting Sydney's housing demands for the next two decades. As such, the area is increasingly the subject to new development applications. The Site Analysis Plan (Drawing No. A101) submitted within the architectural packages details the applications approved, with Council or at the Pre-DA stage in proximity to the site.

Specifically, the subject site is located within the Cudgegong Road Station (Area 20) Precinct. This precinct is centred on the North West Rail Link and rail station near Cudgegong Road and Schofields Road. The remainder of the precinct, dispersing from the railway station and central commercial area around it, is dedicated to housing and supporting infrastructure (i.e. schools

and green space), as outlined in the Precinct Indicative Layout Plan. Refer to Figure 2 – Precinct Indicative Layout Plan.

The subject site has not been identified as an item of heritage significance, nor is the located within a conservation area. There are no heritage items in the immediate vicinity of the site.

The site has not been identified containing native vegetation to be protected, nor is the site identified as being flood prone.

The site has been identified as bushfire prone land.

The site has been identified as having moderate salinity potential.

The easternmost portion of the subject site is identified within the Sydney Region Growth Centres SEPP's land reservation acquisition maps as being dedicated local open space, zoned RE1 Public Recreation.

With reference to the Indicative Layout Plan, the subject site will be located within 800m of the Cudgegong Train Station. Bus routes are planned along Cudgegong Road, ensuring that the subject site will be accessible via public transport in the future.

3. Extent of Non-Compliance

As noted above, Clause 4.3 within Appendix 6 – Area 20 Precinct Plan 2011 of the Sydney Region Growth Centres SEPP states that a portion of the subject land is subject to a maximum building height of 12 metres.

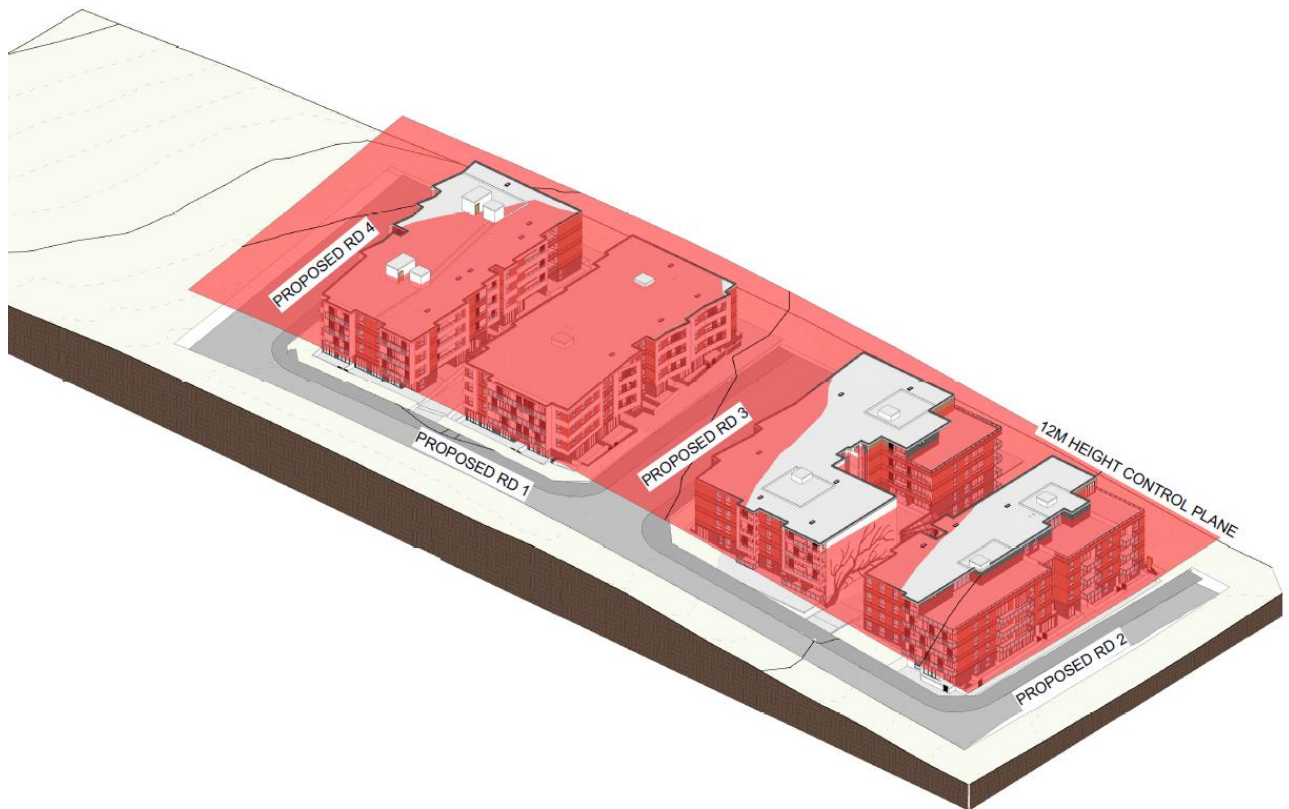
Referring to the architectural plans submitted, it is noted that the maximum building height for Lot 1 is 13.64 metres and 16.2m for Lot 2, exceeding the maximum permitted by 1.64m and 4.2 metres respectively.

The variation sought is generally limited to the roof slab and lift overruns, with some minor breaches to the uppermost portions of units, in the case of Lot 1. For Lot 2, a similar element of some roof slab exceeds the height, however the communal open space structures and lift overrun to access the space on Building 2 also exceed the height.

The amount of habitable floor space in breach of the height control has been assessed to determine the degree of breach. It is noted that in each instance of a breach, it is only a partial variation and not the entire room, measured from floor to ceiling, exceeding the standard. For Lot 1, a total of 1,188m² of habitable area exceeds the height control, being 13.7% of the gross floor area of the development. For Lot 2, only 174m² of the gross floor area exceeds the height control, being 2% of the proposed gross floor area.

Although the proposal breaches the height of buildings control, the development achieves appropriate building envelopes and separation to the adjacent future residential land. It is also worth noting that the development does comply with solar access, cross ventilation, site coverage, landscaped area, communal open space, and deep soil requirements.

Reference should be made to Figure 3 – Height Plane on the following page that demonstrates the areas of variation.

Figure 3 - Height Plane

Source: Dreamscapes Architects

Whilst a variation is sought, it is considered that the built form proposed is suitable for the site, given the future development context and character within the Cudgegong Road development area of the North West Growth Centre.

3. Is Compliance With the Development Standard Unreasonable or Unnecessary in the Circumstances of the Case?

The proposed variation from the development standard is assessed against the required tests in Clause 4.6. In addition, in addressing the requirements of Clause 4.6(3), the accepted five possible approaches for determining whether compliances are unnecessary or unreasonable established by the NSW Land and Environment Court in *Wehbe vs Pittwater Council (2007) LEC 827* are considered.

In the matter of *Four2Five*, the Commissioner stated within the judgement the following, in reference to a variation:

“...the case law developed in relation to the application of SEPP 1 may be of assistance in applying Clause 4.6. While Wehbe concerned an objection under SEPP 1, in my view the analysis is equally applicable to a variation under Clause 4.6 where Clause 4.6 (3)(a) uses the same language as Clause 6 of SEPP 1.”

In the decision of *Wehbe vs Pittwater Council (2007) LEC 827*, Preston CJ summarised the five (5) different ways in which an objection under SEPP 1 has been well founded and that approval of the objection may be consistent with the aims of the policy. The five possible ways are as set out below:

| | |
|--------------|--|
| First | <i>The most commonly invoked way is to establish that compliance with the development standards is unreasonable or unnecessary because the objectives of</i> |
|--------------|--|

| | |
|---------------|--|
| | <p><i>the development standard are achieved notwithstanding non-compliance with the standard.</i></p> <p><i>The rationale is that development standards are not ends in themselves but means of achieving ends. The ends are environmental or planning objectives. If the proposed development proffers an alternative means of achieving the objective, strict compliance with the standard would be unnecessary and unreasonable. (applicable)</i></p> |
| Second | <i>A second way is to establish that the underlying objective or purpose is not relevant to the development with the consequence that compliance is unnecessary. (not applicable)</i> |
| Third | <i>A third way is to establish that the underlying objective or purpose would be defeated or thwarted if compliance was required with the consequence that compliance is unreasonable. (not applicable)</i> |
| Fourth | <i>A fourth way is to establish that the development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable. (not applicable)</i> |
| Fifth | <i>A fifth way is to establish that "the zoning of particular land" was "unreasonable or inappropriate" so that "a development standard appropriate for that zoning was also unreasonable or unnecessary as it applied to that land" and that "compliance with the standard in that case would also be unreasonable or unnecessary. (not applicable)</i> |

In respect of the height of buildings standard, the first method is invoked.

The objectives supporting the maximum height of buildings standard identified in Clause 4.3 are discussed below. Consistency with the objectives and the absence of any environmental impacts, would demonstrate that strict compliance with the standards would be both unreasonable and unnecessary in this instance.

The discussion provided below demonstrates how the proposal is consistent with the objectives of Clause 4.3.

- 1) *The objectives of this clause are as follows:*
 - (a) *to establish the maximum height of buildings on land within the Area 20 Precinct,*
 - (b) *to minimise visual impact and protect the amenity of adjoining development and land in terms of solar access to buildings and open space,*
 - (c) *to facilitate higher density development in and around commercial centres and major transport routes.*

The proposed development generally responds to the maximum height of buildings control, and the other controls applicable to the site, in establishing a design consistent with the desired future character of the area. The maximum height proposed is 13.64m for Lot 1 and 16.2m for Lot 2 as measured from existing ground level, resulting in a numerical breach of 1.64m for Lot 1 and 4.2m for Lot 2.

In terms of the second objective, the proposed development is considered to not have an unreasonable visual impact on the locality given the land is zoned and the controls prescribed to the site permit a development generally of this scale. The site is located within the North West Growth Centre in an R3 Medium Density Residential zoned area. The subject site and its surrounds are to be subject of significant development over next 20 years in the accordance with the recent land releases. It is worth noting approved developments within the area, particularly that of 25 Macquarie Road, Rouse Hill, being for 6 x 4 storey residential flat buildings and greater than 300 units, and those proposed such as the adjoining property to the south-west, 84 Tallawong Road,

which proposes 6 x 4 storey residential flat buildings containing 367 units. The size and scale of the development is comparable, noting that Macquarie Road was approved with a height variation.

Notwithstanding the above similar development, the proposed development has been designed with a high architectural quality that encourages attractive design outcomes for future development in the area. Compliance has been achieved with the majority of Council's controls in terms of setbacks, with variations only sought to incorporate articulation where the controls do not specifically encourage it along the secondary street frontages and fourth storeys. The built form aside, both Lot 1 and 2 provide for ample communal spaces, landscaped area and deep soil.

An attractive material selection and colour palette has also been proposed. Refer to the submitted material and finishes schedule. The buildings leave a positive impression on the future streetscapes.

The proposed variations to the height control are considered minor and generally limited to lift overruns and minor portions of the roof, aspects of the development that will not be immediately 'read' from the streets.

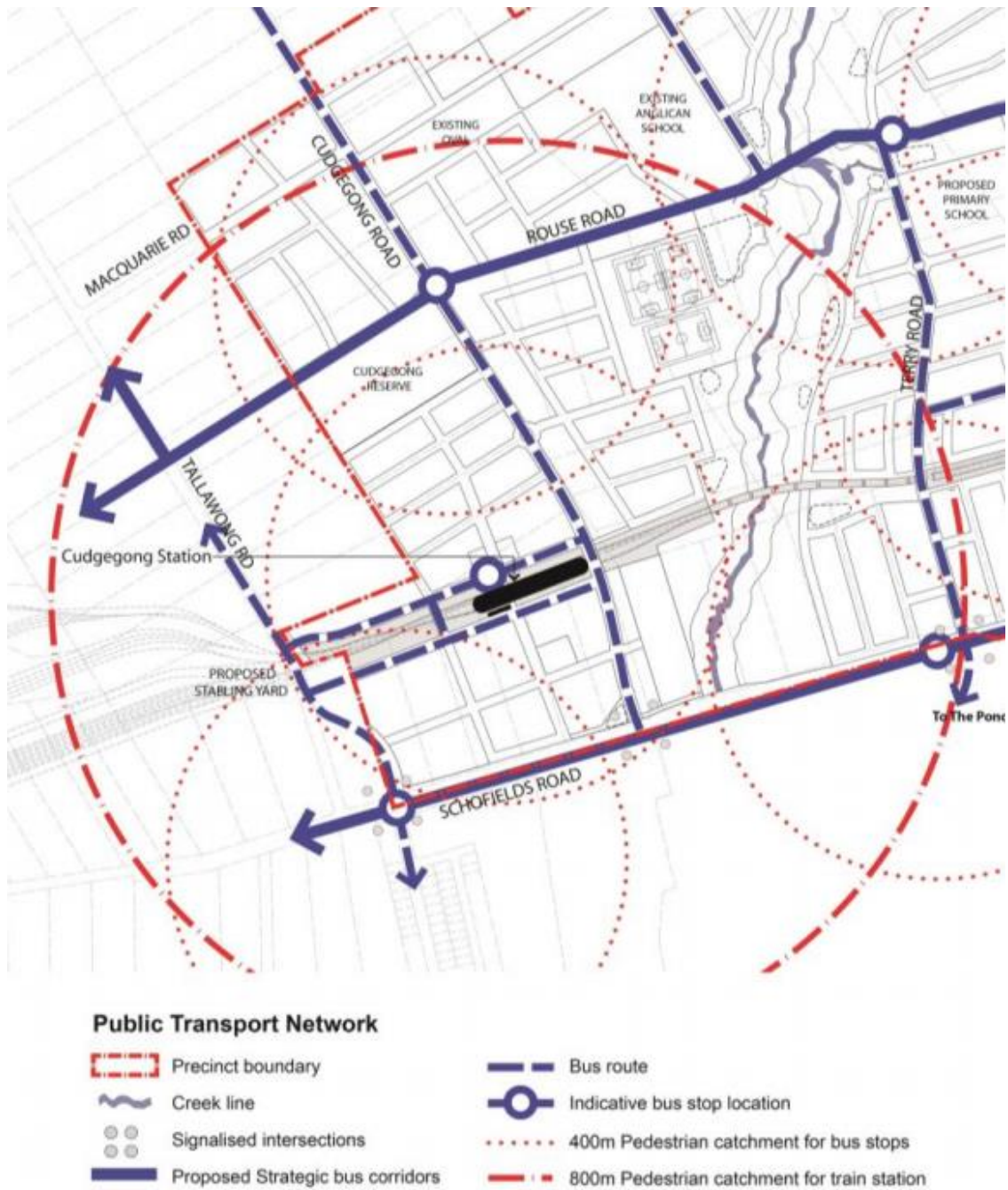
In terms of solar access to buildings and open space, the proposed built forms are consistent with the separation requirements to adjoining properties, ensuring the development of 95 Cudgegong Road is not unfairly constrained. The public open space, being the future Lot 3, will not be impacted by the development in terms of solar access.

Finally, with regard to objective (c), the site is located within 800m of Cudgegong Road Station (and therefore the defined pedestrian catchment of the train station) and 100m of Cudgegong Road, a future highly accessible road per Figure 3-2: Public Transport Network within Schedule 4 Cudgegong Road Station (Area 20) Precinct replicated on the following page. Consequently, it is located in an area in proximity to major transport routes where higher density is encouraged. The proposal is accordingly suitable for the location.

The objectives of Clause 4.3 are reasoned to be achieved in this instance.

It is considered that this submission provides sufficient environmental planning grounds to justify contravening the development standard.

Figure 4 – Public Transport Network Map



Source: Schedule 4 of Cudgegong Road (Area 20) Precinct Plan

4. Are there Sufficient Environmental Planning Grounds?

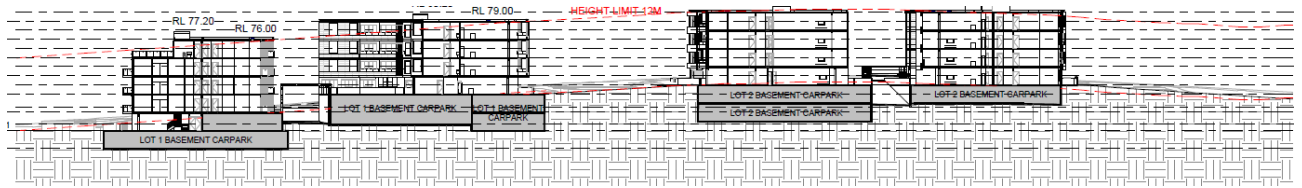
The assessment above demonstrates that the resultant environmental impacts of the proposal will be satisfactory.

For Lot 1, the maximum proposed variation is 1.64m and is contained primarily to lift overruns and partial roof slabs and is driven by the slope of the site and the necessity to provide greater 4.5m clearance to the basement artificially raising the building.

As the section below demonstrates there is a steady change in the elevation of the site. This proposes a challenge to manage the built form and respond to the site. It is submitted that this has been achieved, noting the treatment of the westernmost point (at the bottom of the slope on the

developable land), being the stepping of Building A1. Reference should be made to the full section in the architectural drawing set, being Drawing No. A311.

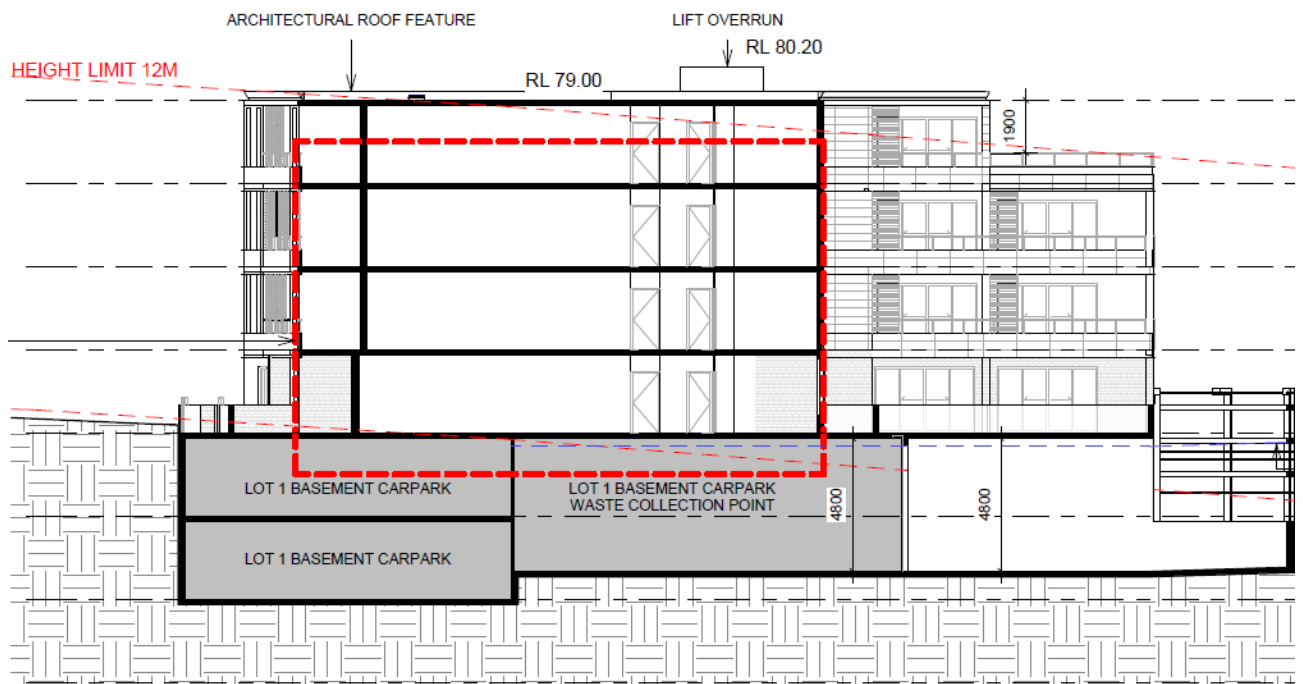
Figure 5 – Longitudinal Section



Source: Dreamscapes Architects, Drawing No. A311

Finally, to accommodate Council's request to provide 4.5m clearance for waste vehicles to access the basement for collection, part of the built form of Lot 1 is artificially increased in height. Refer to the section below that indicates the outline of the building envelope were the 4.5m clearance would not be required superimposed on the proposed building envelope. As this demonstrates, the floor space would be entirely below the height limit, with a minor variation to the lift overrun, were the additional height clearance not required.

Figure 6 –Height Clearance Comparison for Lot 1



Regarding Lot 2, the maximum variation sought is 4.2m relating to the part of the roof slab and lift overruns. However, the greatest extent of the variation sought is to the lift overrun of the communal open space on Building B2.

The rooftop communal open space is proposed to ensure a high quality space is provided for the benefit of future residents that achieves good solar access. While the ground level space does achieve 2 hours of solar access, it is to a lesser extent than the rooftop space is able to achieve and also allows for a variety of spaces within the development. Disabled access to this space requires the lift overrun to extend to a higher point, being 4.2m above the height limit.

The emphasis of the breach in relation to the provision of the rooftop communal open space is exemplified by the percentage of habitable floor area above the height control being limited to 2% of the gross floor area of Lot 2. The resultant breach is therefore predominantly other factors adding to the amenity of the future residents of the development.

In this case, strict compliance with the development standard for height of buildings in the Appendix 6 of the Sydney Region Growth Centres SEPP – Area 20 Precinct Plan 2011 is unnecessary and unreasonable.

5. Is the Variation in the Public Interest?

Clause 4.6 states that the development consent must not be granted for development that contravenes a development standard unless the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is to be carried out.

It is considered that this submission provides sufficient environmental planning grounds to justify contravening the development standard under Part 5.

The development as proposed will be in the public interest as it is consistent with the objectives of Clause 4.3 as detailed above.

Furthermore, it is important to also consider the objectives of the R3 Medium Density Residential zone in relation to the development, which are as follows:

Zone R3 Medium Density Residential

1. Objectives of the zone

- *To provide for the housing needs of the community within a medium density residential environment.*
- *To provide a variety of housing types within a medium density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To support the well-being of the community by enabling educational, recreational, community, religious and other activities where compatible with the amenity of a medium density residential environment*

The following comments are made in relation to the zone objectives:

- The provision of additional residential accommodation in the Cudgegong Road Station Precinct fulfils the purpose of the land release, to provide for the housing needs of Sydney residents in the future. The proposed residential flat buildings are at a medium density scale.
- A variety of unit types are proposed, including 1, 2 and 3 bedroom units.
- The proposal includes land zoned RE1 Public Recreation which is to be dedicated to providing parkland for the future residents of the area.
- The proposal is only for residential use.

Given the above, the proposed development meets the objectives of the zone.

It is considered that this submission provides sufficient environmental planning grounds to justify contravening the development standards, noting the development will be in the public interest.

6. Public Benefit of Maintaining the Standard

It is considered that the public benefit will not be undermined by varying the standard. The proposal provides for the orderly and economic development of the site. Given the site's orientation, location and context it is considered that the site is well suited for the development, given its location and proximity to similar scaled developments, local infrastructure and other amenities.

The built form, bulk and scale is considered suitable within the context of the Cudgegong Road Station (Area 20) Precinct within the North West Growth Centre and is consistent with approved developments within the area, particularly that of 25 Macquarie Road, Rouse Hill, and those proposed such as the adjoining property to the south-west, 84 Tallawong Road.

The development is generally consistent with the current planning controls and as detailed under point 4 of this submission. The provision of basement levels will remove the burden of on-street parking in the area.

It is not considered that the variation sought raises any matter of significance for State or regional environmental planning.

The departure from the building height control within the State Environmental Planning Policy (Sydney Region Growth Centres) 2006 allows for the orderly and economic development of the site in a manner which achieves the outcomes and objectives of the relevant planning controls.

7. Is the Variation Well Founded?

It is considered that this has been adequately addressed in Parts 4 and 5 of this submission. In summary, this Clause 4.6 Variation is well founded as required by Clause 4.6 of the Appendix 6 of the Sydney Region Growth Centres SEPP in that:

- Compliance with the development standards would be unreasonable and unnecessary in the circumstances of the development;
- There are sufficient environmental planning grounds to justify the departure from the standards;
- The development meets the objectives of the standard to be varied (height of buildings) and objectives of the R3 Medium Density Residential zoning of the land;
- The proposed development is in the public interest and there is no public benefit in maintaining the standard;
- The breach does not raise any matter of State or Regional Significance; and
- The development submitted aligns with the predominantly mixed use/residential nature of the neighbourhood.

Based on the above, the variation is considered to be well founded.

8. General

Clause 4.6 also states that:

“(6) Development consent must not be granted under this clause for a subdivision of land in Zone RU1 Primary Production, Zone RU2 Rural Landscape, Zone RU3 Forestry, Zone RU4 Primary Production Small Lots, Zone RU6 Transition, Zone R5 Large Lot Residential, Zone

E2 Environmental Conservation, Zone E3 Environmental Management or Zone E4 Environmental Living if:

(a) the subdivision will result in 2 or more lots of less than the minimum area specified for such lots by a development standard, or

(b) the subdivision will result in at least one lot that is less than 90% of the minimum area specified for such a lot by a development standard.

Note. *When this Precinct Plan was made it did not include any of these zones other than Zone E2 Environmental Conservation*

(7) After determining a development application made pursuant to this clause, the consent authority must keep a record of its assessment of the factors required to be addressed in the applicant's written request referred to in subclause (3).

(8) This clause does not allow development consent to be granted for development that would contravene any of the following:

(a) a development standard for complying development,

(b) a development standard that arises, under the regulations under the Act, in connection with a commitment set out in a BASIX certificate for a building to which State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 applies or for the land on which such a building is situated,

(c) clause 5.4."

This variation does not relate to the subdivision of land in the stated land use zones. The variation sought is not contrary to subclause (6).

Should the exception to the development standard sought under this submission be supported by Council, the Council must retain a record of the assessment of this submission.

The development proposed is not complying development.

A BASIX certificate has been prepared in relation to the proposed development and is submitted under separate cover.

Clause 5.4 is not applicable in this instance.

9. Conclusion

The proposal does not strictly comply with the maximum building height controls as prescribed by Clause 4.3 of Appendix 6 – Area 20 Precinct Plan of the State Environmental Planning Policy (Sydney Region Growth Centres) 2006.

Having evaluated the likely affects arising from this non-compliance, we are satisfied that the objectives of Clause 4.6 of the Appendix 6 – Area 20 Precinct Plan of the State Environmental Planning Policy (Sydney Region Growth Centres) 2006 are satisfied as the breach to the controls does not create any adverse environmental impacts.

Consequently, strict compliance with this development standard is unreasonable and unnecessary in this particular instance and that the use of Clause 4.6 of the Appendix 6 – Area 20 Precinct Plan of the State Environmental Planning Policy (Sydney Region Growth Centres) 2006 to vary this development controls is appropriate in this instance.

Based on the above, it is sensible to conclude that strict compliance with the maximum building height is not necessary and that a better outcome is achieved for this development by allowing flexibility in the application.

Should you have any questions, please do not hesitate to contact me.

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Plan 3021